

VERANDAH EAST

COMMUNITY DEVELOPMENT

DISTRICT

May 8, 2024

BOARD OF SUPERVISORS

REGULAR

MEETING AGENDA

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT**

**AGENDA
LETTER**

Verandah East Community Development District
OFFICE OF THE DISTRICT MANAGER
2300 Glades Road, Suite 410W•Boca Raton, Florida 33431
Phone: (561) 571-0010•Fax: (561) 571-0013•Toll-free: (877) 276-0889

May 1, 2024

Board of Supervisors
Verandah East Community Development District

<p><u>ATTENDEES:</u> Please identify yourself each time you speak to facilitate accurate transcription of meeting minutes.</p>

Dear Board Members:

The Board of Supervisors of the Verandah East Community Development District will hold a Regular Meeting on May 8, 2024 at 1:00 p.m., at 11390 Palm Beach Blvd., First Floor, Fort Myers, Florida 33905. The agenda is as follows:

1. Call to Order/Roll Call
2. Public Comments (3 minutes per person)
3. Consideration of Johnson Engineering, Inc. New Rate Schedule
4. Consideration of MRI Inspection, LLC Proposals for 2024 Cleaning of Storm Structures
5. Discussion/Consideration of Crosscreek Environmental, Inc. Second Year Renewal Option for Lake and Wetland Maintenance Services
6. Consideration of Resolution 2024-04, Relating to the Amendment of the Annual Budget for the Fiscal Year Beginning October 1, 2022 and Ending September 30, 2023; and Providing for an Effective Date
7. Consideration of Resolution 2024-02, Approving a Proposed Budget for Fiscal Year 2024/2025 and Setting a Public Hearing Thereon Pursuant to Florida Law; Addressing Transmittal, Posting and Publication Requirements; Addressing Severability; and Providing an Effective Date
8. Consideration of Resolution 2024-03, Designating Dates, Times and Locations for Regular Meetings of the Board of Supervisors of the District for Fiscal Year 2024/2025 and Providing for an Effective Date
9. Discussion: Permit Transfer - Legal Access to LaBelle Ranch Mitigation Area in Hendry County
 - Field Inspection Report

- 10. Acceptance of Unaudited Financial Statements as of March 31, 2024
- 11. Approval of January 10, 2024 Regular Meeting Minutes
- 12. Staff Reports
 - A. District Counsel: *Kutak Rock LLP*
 - Required Ethics Training
 - B. District Engineer: *Johnson Engineering, Inc.*
 - C. District Manager: *Wrathell, Hunt and Associates, LLC*
 - District Manager’s Report
 - 997 Registered Voters in District as of April 15, 2024
 - NEXT MEETING DATE: August 14, 2024 at 1:00 PM

○ QUORUM CHECK

SEAT 1	RICHARD DENIS SHIELDS, JR.	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> PHONE	<input type="checkbox"/> NO
SEAT 2	JOHN SAMPLE	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> PHONE	<input type="checkbox"/> NO
SEAT 3	JACQUELINE VOILES	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> PHONE	<input type="checkbox"/> NO
SEAT 4	CHRISTINE JAROSS	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> PHONE	<input type="checkbox"/> NO
SEAT 5	DAVID MOORE	<input type="checkbox"/> IN PERSON	<input type="checkbox"/> PHONE	<input type="checkbox"/> NO

- 13. Supervisors’ Requests
- 14. Adjournment

Should you have any questions, please do not hesitate to contact me directly at (239) 989-2939.

Sincerely,



Cleo Adams
 District Manager

FOR BOARD MEMBERS AND STAFF TO ATTEND BY TELEPHONE:
CALL-IN NUMBER: 1-888-354-0094
PARTICIPANT CODE: 709 724 7992

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT**

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March 11, 2024

Mr. Chesley E. Adams
Director of Operations
Verandah East CDD
c/o Wrathell, Hunt and Associates, LLC
9220 Bonita Beach Road, Suite 214
Bonita Springs, FL 34135

Delivered via adamsc@whhassociates.com

Re: Johnson Engineering, Inc. - New Rate Schedule

Dear Mr. Adams and Board of Supervisors:

Like many firms, we try to absorb increased expenses on a yearly basis. However, rising labor, health care, home and fuel costs have exceeded everyone's expectations, especially here in Southwest Florida. Revising our rates has also become necessary for us to retain and attract employees with the level of professional expertise that you have come to expect from us.

Attached is our new rate schedule that went into effect on September 6, 2023. Our master contract allows us to take a fee modification before the Board once a year. We believe our new rates continue to remain competitive with that of other top-tier consulting firms. We would appreciate it if this could be addressed at the Board Meeting on May 8, 2024, for implementation upon Board approval.

After 77 years, our firm's focus remains the same and that is your satisfaction. The community is important to us and if there is anything we can do better to help you, please let us know.

Very truly yours,
JOHNSON ENGINEERING, INC.

Erik L. Howard, P.E., P.S.M.
For the Firm

Attachment
20066024-010



**PROFESSIONAL SERVICES
HOURLY RATE SCHEDULE
September 6, 2023**

Professional

9	\$330
8	\$270
7	\$248
6	\$220
5	\$193
4	\$176
3	\$165
2	\$138
1	\$127

Technician

6	\$182
5	\$154
4	\$132
3	\$110
2	\$88
1	\$77

Administrative

3	\$105
2	\$94
1	\$77

Field Crew

4-Person	\$270
3-Person	\$231
2-Person	\$182

Field Equipment

Field Equipment on Separate Schedule

Expert Witness \$440

**Reimbursable Expenses
and Sub-Consultants** Cost + 10%

**Construction Engineering and Inspection
(CEI Services)**

CEI Services Manager	\$204
CEI Senior Project Administrator	\$182
CEI Project Administrator	\$165
Contract Support Specialist	\$138
Senior Inspector	\$127
CEI Inspector III	\$116
CEI Inspector II	\$105
CEI Inspector I	\$94
Compliance Specialist	\$105
CEI Inspector's Aide	\$77

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT**

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M.R.I. Underwater Specialists, Inc.
5570 Zip Dr.
Fort Myers, FL. 33905
239-984-5241 Office
239-707-5034 cell
239-236-1234 fax



Bill To:

Verandah East and West CDD
9220 Bonita Beach Road
Suite #214
Bonita Springs, FL 34135

Invoice

Job Name

2024 Lake Interconnect
 Inspection

Date **Invoice #**

4/22/2024 4457

Due Date **5/22/2024**

P.O. No. **Terms**

Net 30

Quantity	Description	Rate	Amount
1	<p>Total cost to physically inspect specified storm structures. We utilized a diver to enter each structure to inspect the condition and determine the amount of sand, debris, and blockage within the system. We have provided a detailed inspection report of our findings and a proposal to clean all structures that contain 25% or more sand, debris, and blockage. This price includes all labor, material and equipment needed to complete this job.</p> <p>As Per Proposal # 4730</p>	6,000.00	6,000.00

	Total	\$6,000.00
	Payments/Credits	\$0.00
	Balance Due	\$6,000.00

All Invoices are due within 30 days.
Payments recieved after 30 days will have a
10% late fee.

M.R.I UnderWater Specialists Utilizes the federal E-Verify program in contracts with public employers as required by Florida State law, and acknowledge all the provisions of Florida Statute 448.095 are incorporated herein by reference and hereby certifies it will comply with the same.



M.R.I. Inspection LLC

5570 Zip Dr.
Fort Myers Fl. 33905
239-984-5241 Office
239-236-1234 Fax



CGC 1507963

Name

Verandah East CDD &
Verandah West CDD
9220 Bonita Beach Rd. #214
Bonita Springs, FL 34135

Proposal

Project

Cleaning
25% And Up
2024 Inspection

Date	Estimate #
------	------------

4/25/2024

4768

	Total
<p>This proposal is to utilize the divers to clean and remove sand and debris from structures that have 25% and more of sand and debris. As per our inspection report. This price includes all labor and equipment and dive services needed to complete this job.</p> <p>Any work completed outside the scope of this proposal may result in additional charges.</p> <p>This includes Vac Truck Services There will be additional charges for off site dumping @ \$400.00 Per Load</p>	86,300.00

Please know that we cannot hold pricing according to our normal terms, as our vendors are not holding pricing to us. All quotes will need to be reviewed at the time of contract.

Total \$86300.00

M.R.I. Underwater Specialist utilizes the federal E-Verify program in contracts with public employers All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Additional charges may occur if any changes are made during scope of work and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. All contractors are fully covered under general liability insurance. We will not be responsible for any unforeseen incidents, when we dewater any wet well system. Due to sink holes crevasses or brecches etc. in and around wet well. This proposal does not include replacing any landscaping(Grass,trees, shrubs.etc.) all Jobsites will be left clean,

Authorized Signature
Michael Radford
Michael Radford President

We Utilize E-Verify for all workers

Arreptaurr of Proposal The Above price, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payments will be made within 30 days after invoiced. If not we will agree to pay a 10% late fee. This proposal may be withdrawn if not accepted within thirty (30) days.

Signature _____

Date of acceptance _____



M.R.I. Inspection LLC

5570 Zip Dr.
Fort Myers Fl. 33905
239-984-5241 Office
239-236-1234 Fax



CGC 1507963

Name

Verandah East CDD &
Verandah West CDD
9220 Bonita Beach Rd. #214
Bonita Springs, FL 34135

Proposal

Project

Cleaning
35% And Up
2024 inspection

Date	Estimate #
------	------------

4/25/2024

4769

	Total
<p>This proposal is to utilize the divers to clean and remove sand and debris from structures that have 35% and more of sand and debris. As per our inspection report. This price includes all labor and equipment and dive services needed to complete this job.</p> <p>Any work completed outside the scope of this proposal may result in additional charges.</p> <p>This includes Vac Truck Service on Structure # C-123 C-195-196-197 There will be addition Cost For Off site Dump @ \$400.00 Per Load</p>	53,800.00

Please know that we cannot hold pricing according to our normal terms, as our vendors are not holding pricing to us. All quotes will need to be reviewed at the time of contract.

Total \$53800.00

M.R.I. Underwater Specialist utilizes the federal E-Verify program in contracts with public employers All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Additional charges may occur if any changes are made during scope of work and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance . All contractors are fully covered under general liability insurance. We will not be responsible for any unforeseen incidents, when we dewater any wet well system . Due to sink holes crevasses or breeches etc. in and around wet well. This proposal does not include replacing any landscaping(Grass,trees, shrubs.etc.) all Jobsites will be left clean,

Authorized Signature
Michael Radford
Michael Radford President

We Utilize E-Verify for all workers

Arreptaurr of Proposal The Above price, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payments will be made within 30 days after invoiced. If not we will agree to pay a 10% late fee. This proposal may be withdrawn if not accepted within thirty (30) days.

Signature_____

Date of acceptance_____



M.R.I. Inspection LLC

5570 Zip Dr.
Fort Myers Fl. 33905
239-984-5241 Office
239-236-1234 Fax



CGC 1507963

Name

Verandah East CDD &
Verandah West CDD
9220 Bonita Beach Rd. #214
Bonita Springs, FL 34135

Proposal

Project

Cleaning
50% And Up
2024 Inspection

Date	Estimate #
------	------------

4/25/2024

4770

	Total
<p>This proposal is to utilize the divers to clean and remove sand and debris from structures that have 50% and more of sand and debris. As per our inspection report. This price includes all labor and equipment and dive services needed to complete this job.</p> <p>Any work completed outside the scope of this proposal may result in additional charges.</p> <p>This includes Vac Truck Service on Structure # C-123 C-195-196-197 There will additional cost for off site dumping @ \$400.00 per Load</p>	39,800.00

Please know that we cannot hold pricing according to our normal terms, as our vendors are not holding pricing to us. All quotes will need to be reviewed at the time of contract.

Total \$39800.00

M.R.I. Underwater Specialist utilizes the federal E-Verify program in contracts with public employers
All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Additional charges may occur if any changes are made during scope of work and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. All contractors are fully covered under general liability insurance. We will not be responsible for any unforeseen incidents, when we dewater any wet well system. Due to sink holes crevasses or breeches etc. in and around wet well. This proposal does not include replacing any landscaping(Grass,trees, shrubs.etc.) all Jobsites will be left clean,

Authorized Signature
Michael Radford
Michael Radford President

We Utilize E-Verify for all workers

Arreptaurr of Proposal The Above price, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payments will be made within 30 days after invoiced. If not we will agree to pay a 10% late fee. This proposal may be withdrawn if not accepted within thirty (30) days.

Signature_____

Date of acceptance_____

Structure #	Structure Type	Pipe Size	Condition 2024	Recommend Cleaning
			Verandah East	
			AmberWood Cove	
C-1	Curb	30"	60% Sand & Debris	Yes
C-2	Curb	30"	70% Sand & Debris	Yes
C-3	L-Z1	30"	70% Sand & Debris	Yes
C-4	L-Z4	30"	25% Sand & Debris	Yes
C-5	Curb	30"	30% Sand & Debris	Yes
C-6	Curb	30"	30% Sand & Debris	Yes
C-7	L-Z4	30"	50% Sand & Debris	Yes
C-8	L-Z1	30"	40% Sand & Debris	Yes
C-9	L-Z4	30"	Clean	No
C-10	L-Z-2C	30"	10% Sand & Debris	No
C-11	L-Z-2C	30"	45% Sand & Debris	Yes
C-12	DNL		DNL	
C-13	DNL		DNL	
C-14	L-Z2B	30"	60% Sand & Debris	Yes
			Veranda Blvd	
C-15	Curb	30"	25% Sand & Debris	Yes
C-16	Curb	24"	25% Sand & Debris	Yes
C-17	CS-LZ-2A	24"	Clean	No
C-18	L-Z-2B	24"	Clean	No
			Willow Ridge	
C-19	Curb	24"	25% Sand & Debris	Yes
C-20	Curb	24"	25% Sand & Debris	Yes
C-21	L-U4	24"	40% Sand & Debris	Yes
C-22	L-U5	24"	30% Sand & Debris	Yes
			Magnolia	
C-23	Curb	30"	5% Sand & Debris	No
C-24	Curb	30"	5% Sand & Debris	No
C-25	Box	30"	5% Sand & Debris	No
C-26	L-Z-2B	30"	10% Sand & Debris	No
C-27	Curb	30"	10% Sand & Debris	No
C-28	Curb	30"	5% Sand & Debris	No
C-29	Box	30"	60% Sand & Debris	Yes
C-30	Box	30"	10% Sand & Debris	No
C-31	L-Z-3	30"	50% Sand & Debris	Yes

WE SEE THINGS YOU CAN'T

Structure #	Structure Type	Pipe Size	Condition 2024	Recommend Cleaning
Heritage Preserve				
C-32	Curb	24"	50% Sand & Debris	Yes
C-33	Curb	24"	10% Sand & Debris	No
C-34	Box	24"	5% Sand & Debris	No
Edgewater Trace				
C-35	Box	24"	Clean	No
C-36	Curb	24"	10% Sand & Debris	No
C-37	Curb	24"	Clean	No
C-38	L-R1A	24"	30% Sand & Debris	Yes
C-39	L-R1A	24"	40% Sand & Debris Bricks 1/4 blocking Pipe	Yes
40 Thru 45 are not an interconnect Pipe				
C-40	Curb	36"	30% Sand & Debris	Yes
C-41	Curb	36"	10% Sand & Debris	No
C-42	Manhole	36"	5% Sand & Debris	No
C-43	Curb	36"	10% Sand & Debris	No
C-44	Curb	36"	15% Sand & Debris	No
C-45	L-U1	36"	5% Sand & Debris	No
Golf Course				
C-46	L-U3	30"	25% Sand & Debris	Yes
C-47	L-U5	30"	Clean	No
Edgewater Trace				
C-48	Curb	18"	50% Sand & Debris	Yes
C-49	Curb	30"-18"	90% Sand & Debris	Yes
C-50	L-R1A	30"	15% Sand & Debris	No
C-51	Manhole	30"	5% Sand & Debris	No
C-52	Manhole	30"	25% Sand & Debris	Yes
C-53	L-R2	30"	Clean	No
Golf Course				
C-54	L-R2A	30"	5% Sand & Debris	No
C-55	L-R2A	30"	10% Sand & Debris	No
Willow Bend				
C-56	Curb	24"	40% Sand & Debris	Yes
C-57	Curb	24"	40% Sand & Debris	Yes
C-58	L-AA2	24"	30% Sand & Debris	Yes
C-59	L-AA1	24"	25% Sand & Debris	Yes

WE SEE THINGS YOU CAN'T

Structure #	Structure Type	Pipe Size	Condition 2024	Recommend Cleaning
Veranda Blvd				
C-60	Curb	30"	40% Sand & Debris	Yes
C-61	Curb	30"	40% Sand & Debris	Yes
C-62	L-R1A	CS-30"	Clean	No
C-63	L-AA1	30"	Clean	No
Wood Haven				
C-64	Curb	24"	15% Sand & Debris	No
C-65	Curb	24"	15% Sand & Debris	No
C-66	L-BB2	24"	25% Sand & Debris	Yes
C-67	L-BB4	24"	25% Sand & Debris	Yes
C-68	Curb	24"	5% Sand & Debris/Plywood	Yes
C-69	Curb	24"	30% Sand & Debris	Yes
C-70	L-BB2	24"	40% Sand & Debris	Yes
C-71	L-BB4	24"	5% Sand & Debris	No
Torrey Pines				
C-72	L-R1A	24"	Clean	No
C-73	Box	24"	25% Sand & Debris	Yes
C-74	Box	24"	40% Sand & Debris	Yes
C-75	Box	24"	10% Sand & Debris	No
C-76	L-S5	24"	25% Sand & Debris	Yes
Fairway Cove				
C-77	Curb	24"	15% Sand & Debris	No
C-78	Curb	24"	15% Sand & Debris	No
C-79	L-BB3	24"	25% Sand & Debris	Yes
C-80	L-BB2	24"	10% Sand & Debris	No
C-81	Curb	24"	5% Sand & Debris	No
C-82	Curb	24"	5% Sand & Debris	No
C-83	L-W2	24"	5% Sand & Debris	No
C-84	L-BB3	CS-24"	Clean	No
Golf Course				
C-85	L-W2	36"	60 Sand & Debris	Yes
C-86	L-W1	36"	70% Sand & Debris	Yes
C-87	L-S5	36"	30% Sand & Debris	Yes
C-88	L-S4	36"	80% Sand & Debris	Yes
C-89	L-S4	42"	80% Sand & Debris	Yes
C-90	L-S1	42"	40% Sand & Debris	Yes

Structure #	Structure Type	Pipe Size	Condition 2024	Recommend Cleaning
Whispering Oaks				
C-91	Curb	24"	Clean	No
C-92	Curb	24"	10% Sand & Debris	No
C-93	L-R1B	24"	Clean	No
C-94	L-S1	24"	5% Sand & Debris	No
Brantley Oaks				
C-95	Curb	24"	15% Sand & Debris	No
C-96	Curb	24"	10% Sand & Debris	No
C-97	Lake	24"	Clean	No
C-98	L-S3	CS-24"	Clean	No
Arlington Oaks				
C-99	L-Q1B	24"	5% Sand & Debris	No
100	Lake	24"	5% Sand & Debris	No
Palmetto Grove				
C-101	Curb	36"	30% Sand & Debris	Yes
C-102	Curb	36"	40% Sand & Debris	Yes
C-103	L-W1	36"	70% Sand & Debris	Yes
C-104	L-W3	36"	Clean	
Sabal Point				
C-105	Curb	42"	30% Sand & Debris	Yes
C-106	Curb	42"	5% Sand & Debris	No
C-107	L-W3	42"	25% Sand & Debris	Yes
C-108	L-W4	42"	5% Sand & Debris	No
Citrus Creek				
C-109	L-X	24"	Clean	No
C-110	L-T2	24"	Clean	No
Verandah Blvd				
C-111	Curb	42"	40% Sand & Debris	Yes
C-112	Curb	42"	30% Sand & Debris	Yes
C-113	L-T2	42"	Clean	No
C-114	L-S2	42"	25% Sand & Debris	Yes
C-58A	L-AA2	24"	10% Sand & Debris	No
C-58B	Box	24"	10% Sand & Debris Heavy Veg	Yes

Structure #	Structure Type	Pipe Size	Condition 2024	Recommend Cleaning
Verandah Blvd				
C-115	Curb	36"	60% Sand & Debris	Yes
C-116	Curb	36"	40% Sand & Debris	Yes
C-117	Box	36"	Large Tree Branches Covering Box	Yes
C-118	L-A2	36"	40% Sand & Debris	Yes
Cottonwood Blvd				
C-119	Curb	36"	25% Sand & Debris	Yes
C-120	Curb	36"	25% Sand & Debris	Yes
C-121	L-A2	36"	50% Sand & Debris	Yes
C-122	L-A3A	36"	60% Sand & Debris	Yes
C-123	Curb	18"-24"	70% Sand & Debris	Yes/ Vac Truck
C-124	Curb	24"	25% Sand & Debris	Yes
C-125	L-A2	24"	25% Sand & Debris	Yes
Frontage Rd				
C-126	Curb	18"	30% Sand & Debris	Yes/ Vac Truck
C-127	Curb	18"	10% Sand & Debris	No
C-128	Manhole	18"	Clean	No
Verandah Blvd				
C-129	Curb	24"	30% Sand & Debris	Yes/ Vac Truck
C-130	Curb	24"	25% Sand & Debris	Yes/ Vac Truck
CS-A3A	L-A3A	CS-24"	Clean	No
C-131	L-B	24"	Clean	No
Winding River Dr.				
C-132	Lake	30"	Clean	No
CS-B	L-B	30"	Clean	No
Verandah Blvd				
C-133	L-B	30'	Clean	No
C-134	Box	30"	100% Buried in the trees	Yes
CS-A3B	L-A3B	30"	Clean	No
Bramble Cove Dr.				
C-135	Curb	42"	25% Sand & Debris	Yes
C-136	Curb	42"	10% Sand & Debris	No
C-137	L-A3B	42"	25% Sand & Debris	Yes
C-138	L-A6	42"	25% Sand & Debris	Yes
C-139	L-A6	36"	25% Sand & Debris	Yes
C-140	L-A7	36"	Clean	No

WE SEE THINGS YOU CAN'T

Structure #	Structure Type	Pipe Size	Condition 2024	Recommend Cleaning
Shady				
C-141	Curb	36"	25% Sand & Debris	Yes
C-142	Curb	36"	25% Sand & Debris	Yes
C-143	L-A7	36"	10% Sand & Debris	No
C-144	L-A8	36"	Clean	
Golf Course				
C-145	L-A6	42"	30% Sand & Debris	Yes
C-146	L-A5	42"	Clean	No
C-147	L-A4	42"	40% Sand & Debris	Yes
C-148	L-A5	42"	40% Sand & Debris	Yes
C-149	L-A5	42"	10% Sand & Debris	No
CS-G1	L-G1	42"	5% Sand & Derbris	No
WOS1	CS-G2		Clean	No
Verandah Blvd				
C-150	Curb	24"	10% Sand & Debris	No
C-151	Curb	24"	25% Sand & Debris	Yes
C-152	L-A8	24"	5% Sand & Derbris	No
C-153	CS	24"	5% Sand & Derbris	No
Golf Course				
C-154	L-H1	36"	5% Sand & Derbris	No
C-155	L-H3	36"	Clean	No
C-156	L-H2	24"	50% Sand & Debris	Yes
C-157	L-H3	24"	Clean	No
Cypress Marsh Dr				
CS-A8	L-A8		No Pipe/ Clean	No
C-158	WE1	12"	Clean	No
C-159	Curb	36"	10% Sand & Debris	No
C-160	Curb	36"	40% Sand & Debris	Yes
C-161	L-H6	36"	Clean	No
C-162	L-8HB	36"	Clean	No
Verandah Blvd				
C-163	Curb	42"	40% Sand & Debris	Yes
C-164	Curb	42"	30% Sand & Debris	Yes
C-165	L-H8A	42"	25% Sand & Debris	Yes
C-166	Box	42"	Clean	No
C-167	Curb	42"	30% Sand & Debris	Yes
C-168	Curb	42"	25% Sand & Debris	Yes
C-169	L-H8B	42"	Clean	No

WE SEE THINGS YOU CAN'T

Structure #	Structure Type	Pipe Size	Condition 2024	Recommend Cleaning
Verandah Blvd				
C-170	L-H10	42"	Clean	No
Golf Course				
C-171	L-H4	36"	70% Sand & Debris	Yes
C-172	L-H3	36"	30% Sand & Debris	Yes
C-173	L-H5A	42"	70% Sand & Debris	Yes
C-174	L-H4	42"	70% Sand & Debris	Yes
C-175	L-H9	48"	10% Sand & Debris	No
C-166A	L-H10	48"	Clean	No
C-166B	L-H10	42"	5% Sand & Debris	No
Sanctuary Point				
C-176	Curb	48"	50% Sand & Debris	Yes
C-177	Curb	48"	60% Sand & Debris	Yes
C-178	L-H9	48"	30% Sand & Debris	Yes
C-179	Box	48"-54"	70% Sand & Debris	Yes
C-180	L-H11	54"	90% Sand & Debris	Yes
Golf Course				
C-181	L-H13	48"	Clean	No
C-182	L-H11	48"	10% Sand & Debris	No
C-183	L-H11	42"	60% Sand & Debris	Yes
C-184	L-H12	42"	70% Sand & Debris	Yes
C-185	L-H5A	36"	50% Sand & Debris	Yes
C-186	L-H5	36"	25% Sand & Debris	Yes
C-187	L-H5	42"	Clean	No
C-188	L-H13	42"	25% Sand & Debris	Yes
C-189	L-H13	42"	30% Sand & Debris	Yes
C-190	L-H-14	42"	10% Sand & Debris	No
CS-K	L-K2	24"	Clean	No
C-191	L-H5	24"	10% Sand & Debris	No
Maintenance				
C-192	L-G1	24"	Clean	No
C-193	L-G1A	24"	Clean	No
C-194	L-G1A	24"	10% Sand & Debris	No
C-195	Box	24"	50% Sand & Debris	Yes/ Vac Truck
C-196	Box	30"-24"	40% Sand & debris	Yes/ Vac Truck
C-197	Box	30"	25% Sand & Debris	Yes/ Vac Truck

WE SEE THINGS YOU CAN'T

Structure #	Structure Type	Pipe Size	Condition 2024	Recommend Cleaning
Golf Course				
C-198	L-K1	42"	10% Sand & Debris	No
C-199	L-K2	42"	Clean	No
C-200	L-K1	36"	10% Sand & Debris	No
C-201	L-Q1B	36"	5% Sand & Debris	No
C-202	L-E1A	36"	10% Sand & Debris	No
C-203	L-E1	36"	5% Sand & Debris	No
C-204	L-E1	36"	5% Sand & Debris	No
C-205	Manhole	36"	5% Sand & Debris	No
CS-E1	L-E1	36"	Clean	No
C-206	Manhole	36"	25% Sand & Debris	Yes
CS-E2	L-E2	36"	10% Sand & Debris	No
C-207	Box	24"	Clean	No
CS-H8	24"	25"	Clean	No
Hammock Creek Way				
C-208	Manhole	30"	Clean	No
C-209	Manhole	30"	Clean	No
C-210	River	30"	Clean	No
CS-F	L-F	30"	Clean	No
Green Area/Golf course				
C-211	L-F1	24"	10% Sand & Debris	No
C-212	L-F1A	24"	15% Sand & Debris	No
C-213	L-F1A	24"	Clean	No
CS-M	Wos2	24"	10% Sand & Debris	No
CS-F1	L-F1A	24"	15% Sand & Debris	No
C-214	WOS2	24"	5% Sand & Debris	No
C-215	L-F1	30"	60% Sand & Debris	Yes
CS-P5	L-P5	30"	10% Sand & Debris	No
River Village Way				
C-216	L-E2	36"	Clean	No
C-217	Manhole	36"	10% Sand & Debris	No
C-218	Box	36"	10% Sand & Debris	No
CS-L	L-L	36"	15% Sand & Debris	No
Mossy Oak Dr				
C-219	Curb	24"	15% Sand & Debris	No
C-220	Curb	24"	10% Sand & Debris	No
C-221	L-P5	24"	5% Sand & Debris	No
C-222	L-P4	24"	10% Sand & Debris	No
C-223	Curb	18"	Clean	No

WE SEE THINGS YOU CAN'T

Structure #	Structure Type	Pipe Size	Condition 2024	Recommend Cleaning
Mossy Oak Dr.				
C-224	Curb	18"	10% Sand & Debris	No
C-225	L-P4	18"	Clean	No
CS-P4	L-P4	36"	Clean	No
River Point				
C-226	Curb	42"	5% Sand & Debris	No
C-227	Curb	42"	5% Sand & Debris	No
C-228	L-P4	42"	10% Sand & Debris	No
C-229	L-P3	42"	Clean	No
Golf Course				
C-230	L-P3	15"	Clean	No
C-231	Manhole	15"	Clean	No
C-232	Manhole	15"	Clean	No
C-234	L-P1	15"	Clean	No
C-235	L-P3	42"	Clean	No
C-236	L-P2	42"	5% Sand & Debris	No
River Bluff Ct				
C-237	Curb	18"-24"	10% Sand & Debris	No
C-238	Curb	24"-18"	10% Sand & Debris	No
C-239	UCOS2	24"	10% Sand & Debris	No
C-240	UCOS2	24"	Clean	No
CS-P1	L-P	24"	Clean	No
PebbleBrook Point Cir				
C-241	Curb	42"	10% Sand & Debris	No
C-242	Curb	42"	10% Sand & Debris	No
C-243	Box	42"	25% Sand & Debris	Yes
C-244	L-P1	42"	Clean	No
C-245	Box	24"-42"	Clean	No
C-246	Box	24"	Clean	No
CS-T	L-T1	42"	Clean	No
LakeView Isle Ct				
C-247	Curb	24"	25% Sand & Debris	Yes
C-248	Curb	24"	25% Sand & Debris	Yes
C-249	L-T3	24"	Clean	No
C-250	L-T1	24"	5% Sand & Debris	No
C-251	Curb	54"	25% Sand & Debris	Yes
C-252	Curb	54"	50% Sand & Debris	Yes
C-253	L-T1	54"	Clean	No
C-254	L-T2	54"	Clean	No

WE SEE THINGS YOU CAN'T

Structure #	Structure Type	Pipe Size	Condition 2024	Recommend Cleaning
LakeView Isle Ct				
C-255	Arch		Clean	No
C-256	Arch		Clean	No

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT**

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June 2023

**CONTRACT
VERANDAH EAST & WEST CDD'S
LAKE & WETLAND MAINTENANCE**

THIS AGREEMENT (the "Agreement"), made and entered into this 1st day of June, 2023 by and between Crosscreek Environmental, Inc (hereinafter referred to as "Contractor") with an address of 111 61st St E, Palmetto, FL 34221 and the Verandah East Community Development District & Verandah West Community Development District, each a community development district established pursuant to Chapter 190, Florida Statutes, with an address c/o Wrathell Hunt and Associates, LLC, 9220 Bonita Beach Road, Suite 214, Bonita Springs, FL 34135 (hereinafter singularly each "District") and together the "Districts")

WHEREAS, the Districts solicited proposals from various vendors for work necessary for the on-going lake and wetland maintenance within the District, as outlined on the attached Exhibit "A" (Map) and,

WHEREAS, Contractor has represented to the Districts that Contractor possesses all of the necessary licenses, skill, knowledge, expertise, equipment and personnel necessary to competently perform and maintain the lake and wetland's and,

WHEREAS, Contractor has represented to the Districts that Contractor has physically inspected the existing conditions of the lake's and wetland's system and is aware of and is knowledgeable to the current conditions of the lakes and wetlands and based its proposal thereon.

NOW THEREFORE, for and in consideration of the premises, the terms, conditions and representations contained herein, and for other good and valuable consideration Contractor and the Districts agree as follows:

1. The above and foregoing are true and correct.
2. Contractor will maintain the lakes and wetlands (as denoted above and on the attached Exhibit A (Map); Exhibit B (Detailed Specifications).
3. Districts agree to pay Contractor; per month in compliance with this Agreement to the satisfaction of the Districts, up to a maximum total cost of \$ 124,064.00 per year for the entire project. The Districts shall pay within 30 days of completion of the prior month in accordance with the specifications of the contract.
4. Exhibit [proposal exhibit] of the Agreement is hereby supplemented to provide for the addition of fuel surcharges as described in more detail in the attached Exhibit A [this would be a fuel surcharge provided by Contractor]. The addition of fuel surcharges will be effective beginning June 1, 2023 and may be renewed for thirty (30) day increments upon approval by the District and subject to termination at any time by the District or at such time that fuel

prices fall to the average price of [date of execution of Agreement or other designated date] per gallon in the Lee County, Florida area.

5. Contractor will provide all material, equipment, supplies, and labor necessary to maintain the lakes and wetlands within the Districts.
6. Within three (3) days of the date of execution of this Agreement, and prior to the issuance of a Notice To Proceed, Contractor shall furnish District with Certificates of Workers Compensation, General Liability and vehicle policy limits, as follows:

A. Commercial General Liability: Coverage shall have minimum limits of \$1,000,000 Per Occurrence, Combined Single Limit for Bodily Injury Liability and Property Damage Liability. This shall include Premises and Operations; Independent Managers; Products and Completed Operations and Contractual Liability.

B. Workers' Compensation: Insurance covering all employees meeting Statutory Limits in compliance with the applicable state and federal laws.

The coverage must include Employers' Liability with a minimum limit of \$1,000,000 for each accident.

Current, valid insurance policies meeting the requirement herein identified shall be maintained by Contractor during the duration of this Agreement. There shall be a thirty (30) day written notification to the District in advance of any event of cancellation or modification of any insurance coverage. The Districts shall be listed as the Certificate Holder and included as an Additional Insured on the Comprehensive General Liability Policy, and Contractor shall have the insurance carriers deliver copies of such Certificate(s) to the District.

7. This Agreement and work may not be assigned by Contractor without the express prior written approval of the Districts, which approval may be withheld in the sole discretion of either of the Districts.
8. Either District shall have the right to unilaterally cancel the Agreement for refusal by Contractor to allow public access to all documents, papers, letters, or other materials subject to the provisions of Chapter 119, F.S. and made or received by the Contractor in conjunction with the Contract.

Contractor agrees to comply with Florida's public records laws, specifically to:

- (a) Keep and maintain public records that ordinarily and necessarily would be required by the Districts in order to perform the service.
- (b) Provide the public with access to public records on the same terms and conditions that the Districts would provide the records and at a cost that

does not exceed the cost provided in this chapter or as otherwise provided by law.

(c) Ensure that public records that are exempt or confidential and exempt from public records disclosure requirements are not disclosed except as authorized by law.

(d) Meet all requirements for retaining public records and transfer, at no cost, to the Districts all public records in possession of Contractor upon termination of the Agreement and destroy any duplicate public records that are exempt or confidential and exempt from public records disclosure requirements. All records stored electronically must be provided to the District in a format that is compatible with the information technology systems of the District.

(e) IF CONTRACTOR HAS QUESTIONS REGARDING THE APPLICATION OF CHAPTER 119, FLORIDA STATUTES, TO THE CONTRACTORS DUTY TO PROVIDE PUBLIC RECORDS RELATING TO THIS CONTRACT, CONTACT THE CUSTODIAN OF PUBLIC RECORDS AT (561) 571-0010 OR AT GILLYARDD@WHHASSOCIATES.COM OR BY MAIL AT 2300 GLADES ROAD SUITE 410W, BOCA RATON, FL 33431.

9. Contractor shall be responsible to apply for, obtain and pay for all permits or development orders necessary to begin and perform the work. Contractor shall perform all work in strict compliance with all applicable statutes, rules, laws, ordinances and regulations.
10. The Districts performance and obligation to pay under this Agreement is contingent upon an annual appropriation by the District.
11. E-Verify Requirements. The Contractor shall comply with and perform all applicable provisions of Section 448.095, Florida Statutes. Accordingly, beginning January 1, 2021, to the extent required by Florida Statute, Contractor shall register with and use the United States Department of Homeland Security's E-Verify system to verify the work authorization status of all newly hired employees. Either District may terminate this Agreement immediately for cause if there is a good faith belief that the Contractor has knowingly violated Section 448.091, Florida Statutes.

If the Contractor anticipates entering into agreements with a subcontractor for the Work, Contractor will not enter into the subcontractor agreement without first receiving an affidavit from the subcontractor regarding compliance with Section 448.095, Florida Statutes, and stating that the subcontractor does not employ, contract with, or subcontract with an unauthorized alien. Contractor shall maintain a copy of such affidavit for the duration of the agreement and provide a copy to the Districts upon request.

In the event that either District has a good faith belief that a subcontractor has knowingly violated Section 448.095, Florida Statutes, but the Contractor has otherwise complied with its obligations hereunder, the District shall promptly notify the Contractor. The Contractor agrees to immediately terminate the agreement with the subcontractor upon notice from either District. Further, absent such notification from either District, the Contractor or any subcontractor who has a good faith belief that a person or entity with which it is contracting has knowingly violated s. 448.09(1), Florida Statutes, shall promptly terminate its agreement with such person or entity.

By entering into this Agreement, the Contractor represents that no public employer has terminated a contract with the Contractor under Section 448.095(2)(c), Florida Statutes, within the year immediately preceding the date of this Agreement.

12. Unless a contract between Contractor and any subcontractor provides otherwise, the provisions of Section 287.0585, F.S. shall apply as to late payments by Contractor to subcontractors.
13. Contractor shall pay all subcontractors, sub-subcontractors, materialmen and suppliers in accordance with the provisions of Section 255.001, F.S.
14. Contractor warrants and certifies to the District that neither Contractor nor any affiliate of Contractor have been convicted of a public entity crime as such is defined in Section 287.133, F.S.
15. Contractor warrants that Contractor has not employed or retained any company or person, other than a bona fide employee working solely for Contractor of solicit or secure this Agreement and that Contractor has not paid or agreed to pay any person, company, corporation, individual, or firm, other than a bona fide employee working solely for Contractor any fee, commission, percentage, gift or other consideration contingent upon or resulting from the award of this agreement.
16. Contractor agrees to defend, indemnify, and hold harmless the Districts and their officers, agents, employees, successors, assigns, members, affiliates, or representatives from any and all liability, claims, actions, suits, liens, demands, costs, interest, expenses, damages, penalties, fines, judgments against either District, or loss or damage, whether monetary or otherwise, arising out of, wholly or in part by, or in connection with the services to be performed by Contractor, its subcontractors, its employees and agents in connection with this Agreement, including litigation, mediation, arbitration, appellate, or settlement proceedings with respect thereto. Additionally, nothing in this Agreement requires Contractor to indemnify the District for either District's percentage of fault if such District is

adjudged to be more than 50% at fault for any claims against such District and Contractor as jointly liable parties; however, Contractor shall indemnify such District for any and all percentage of fault attributable to Contractor for claims against such District, regardless whether the District is adjudged to be more or less than 50% at fault.

B. Obligations under this section shall include the payment of all settlements, judgments, damages, liquidated damages, penalties, forfeitures, back pay awards, court costs, arbitration and/or mediation costs, litigation expenses, attorneys' fees, paralegal fees, expert witness fees (incurred in court, out of court, on appeal, or in bankruptcy proceedings), any interest, expenses, damages, penalties, fines, or judgments against either District.

17. TERMS OF AGREEMENT

The Agreement shall be for a period of twelve (12) months with an option to renew for an additional twelve (12) months by the District, commencing June 1, 2023. The Agreement shall terminate on May 31, 2024. Each District reserves the right to cancel this Agreement as outlined in these specifications if work is not performed in a satisfactory manner as determined in the sole and absolute discretion of the District. Notice shall be in writing and delivered by certified mail to the Contractor.

The aggregate amount of proposal(s) within the Agreement is in the sum of \$ 124,064.00 for the first twelve (12) month period.

The aggregate amount of proposal(s) within the Agreement is in the sum of \$ 124,064.00 for the second twelve (12) month period.

The Districts reserve the right to terminate the Agreement in accordance with the following provisions:

TERMINATION- The performance of the work under this Agreement may be terminated by either of the Districts in such District's sole and absolute discretion, with or without cause in accordance with this clause in whole, or from time to time in part, whenever the Districts shall determine that such termination is necessary. Any such termination shall be provided by delivery to the Contractor of a notice of termination specifying the extent to which performance of the work under the Agreement is terminated, and the date upon which such termination becomes effective. In the event of termination without cause the date of termination shall be at least thirty (30) days from date of delivery of written notice either hand delivered or sent certified mail return receipt requested.

After receipt of a notice of termination, and except as otherwise directed the Contractor shall:

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- a. Stop work under this Agreement on the date and to the extent specified in the notice of termination.
- b. Place no further orders or subcontract for materials, services, facilities except as may be necessary for completion of such portion of the work under this Agreement as is not terminated.
- c. Terminate all orders and subcontracts to the extent that they relate to the performance of the work terminated by the notice of termination.
- d. Settle all outstanding liabilities and all claims arising out of such termination of orders and subcontracts, the approval or ratification of the District to the extent he may require, which approval or ratification shall be final for all purposes of this clause.
- e. Transfer title and deliver to the Districts, in the manner, at the times, and to the extent, if any, directed by the Districts, the fabricated or non-fabricated parts, work in process, completed work, supplies, and other material produced as part of, or acquired in connection with the performance of, the work terminated by the notice of termination.
- f. Complete performance of such part of the work which shall not have been terminated by the notice of termination.
- g. Take such action as may be necessary or as the Districts may direct, for the protection and preservation of the property related to this Agreement which is in the possession of the Contractor and in which the Districts has or may acquire an interest.
- h. Deliver to the Districts waivers and releases of liens and / or satisfaction of liens, for all labor, materials and supplies provided prior to the effective date of the notice of termination.

After receipt of a notice of termination, the Contractor shall submit to the Districts his termination claim, in satisfactory form. Such claim shall be submitted promptly, but no later than one (1) month from the effective date of termination unless one or more extensions in writing are granted by the Districts. No claim will be allowed for any expense incurred by Contractor after the effective date of the termination. Upon failure of the Contractor to submit his termination claim within the time allowed, the Contractor shall be deemed to waive any right to any further compensation.

June 2023

The Contractor and the Districts may agree upon the whole or any part of the amount or amounts to be paid to the Contractor by reason of the total or partial termination of work pursuant to this clause, PROVIDED HOWEVER, that such agreed amount or amounts, exclusive of settlement costs shall not exceed the total Agreement price as amended accordingly and the Contractor shall be paid the agreed amount.

The total sum to be paid to the Contractor shall not exceed the total Agreement price as reduced by the amount of payments otherwise made and as for further reduced by the Agreement price of work not terminated. Except for normal spoilage, and except to the extent that the Districts shall have otherwise expressly assumed the risk of loss, these shall be excluded from the amounts payable to the Contractor the fair value, as determined by the Districts, or property which is destroyed, lost, stolen, or damaged so as to become undeliverable to the District.

In arriving at the amount due the Contractor under this clause these amounts that shall be deducted (1) all non-liquidated advance or other payments on account therefore made to the Contractor, applicable to the terminated portion of this contract, (2) any claim which the Districts may have against the Contractor in connection with this contract, and (3) the agreed price for, or in the proceeds or sale of, any materials, supplies, or other things kept by the Contractor or sold, pursuant to the provisions of this clause, and not otherwise recovered by or credited to the Districts.

Should the Contractor desire to give notice to the Districts, it must be given by a (60) Day written notice, sent by certified United States mail, with return receipt requested, addressed to the party for whom it is intended, at the place last specified, and the place for giving of notice in compliance with the provisions of this paragraph. For the present, the parties designate the following as the respective places for giving of notice, to-wit:

FOR Contractor

Name:	<u>Crosscreek Environmental, Inc.</u>
Address:	<u>111 61st St E, Palmetto, FL 34221</u>
Telephone:	<u>941-479-7811</u>
SS#/Tax ID:	<u>20-8414663</u>

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FOR DISTRICT:

Verandah East & Verandah West CDD's
9220 Bonita Beach Road, #214
Bonita Springs, FL 34135
(239) 498-9020
(239) 989-2939 (M)

18. Venue and jurisdiction for any litigation arising out of this Agreement shall be in the state court of appropriate jurisdiction in Lee County, Florida.
19. **Compliance with Section 20.055, Florida Statutes.** The Contractor agrees to comply with Section 20.055(5), *Florida Statutes*, to cooperate with the inspector general in any investigation, audit, inspection, review, or hearing pursuant such section and to incorporate in all subcontracts the obligation to comply with Section 20.055(5), *Florida Statutes*.
20. **Scrutinized Companies Statement.** Contractor certifies it: (i) is not in violation of Section 287.135, *Florida Statutes*, (ii) is not on the Scrutinized Companies with Activities in Sudan List; (iii) is not on the Scrutinized Companies with Activities in the Iran Petroleum Energy Sector List; (iv) does not have business operations in Cuba or Syria; (v) is not on the on the Scrutinized Companies that Boycott Israel List; and (vi) is not participating in a boycott of Israel. If the Contractor is found to have submitted a false statement with regards to the prior sentence, has been placed on the Scrutinized Companies with Activities in Sudan List, the Scrutinized Companies with Activities in the Iran Petroleum Energy Sector List, or the Scrutinized Companies that Boycott Israel List, has engaged in business operations in Cuba or Syria, and/or has engaged in a boycott of Israel, either District may immediately terminate this Agreement.

IN WITNESS WHEREOF the parties hereto have executed this Agreement on the day and date first above written.

Attest:

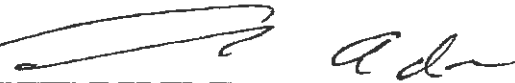
VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT
BOARD OF SUPERVISORS


June 2023

IN WITNESS WHEREOF the parties hereto have executed this agreement on the day and date first above written.

Attest:


VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT
BOARD OF SUPERVISORS

By: 
Cleo Adams; Secretary

By: 
for David Moore; Chairman

Attest:

VERANDAH WEST
COMMUNITY DEVELOPMENT DISTRICT
BOARD OF SUPERVISORS

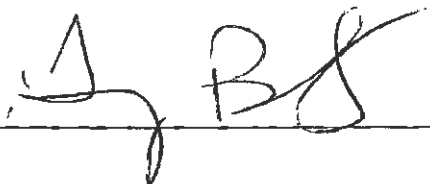
By: 
Cleo Adams; Secretary

By: 
Jeffrey Jordan; Chairman

Signed, sealed and witnessed in the presence of:

As to Contractor:

By: 

By: 

Its: Regional Manager

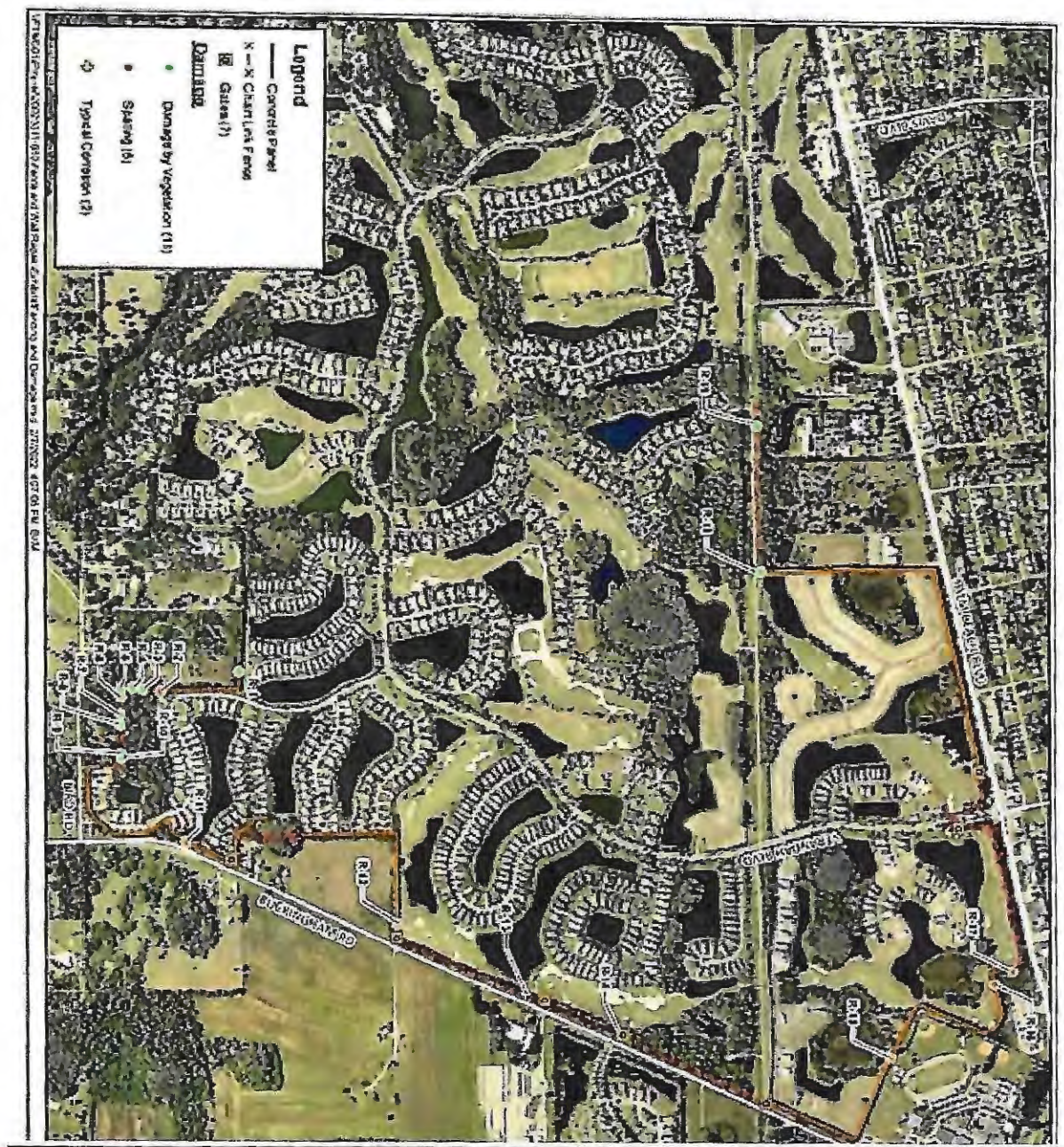


EXHIBIT "B"

June 2023

DETAILED SPECIFICATIONS

- 6.01 **SCOPE OF WORK** - The contractor shall furnish all labor, materials, supervision, equipment, supplies, tools, services, and all other necessary incidentals required to perform complete maintenance of water management areas as detailed below.

Each bidder shall submit one bid encompassing all proposal areas.

VERANDAH EAST & VERANDAH WEST COMMUNITY DEVELOPMENT DISTRICTS

EXISTING FACILITIES

Exhibit "A" is a map showing the locations to be maintained by this contract.

6.02. DETAILED SPECIFICATIONS

1. General.

Work under this section includes furnishing all labor, supplies, equipment and materials, and performing all operations connected with the completion of required water management areas maintenance, monitoring of area ponds, Conservations and dry detention areas as depicted within Exhibits "A", the size and locations of which shall be independently verified by Contractor.

- The aquatic weed control program includes the mechanical removal or spraying of water management areas, as designated in Exhibit "A" accompanying this specification. These operations are for the removal of water hyacinths, cattails, broadleaf weeds grasses, torpedo grass, Hydrilla, Bull Rush, Thalia and other noxious or invasive weeds, including bottom rooted aquatic weeds that are unsightly or may impede the flow of water in the lakes, flow ways and dry detention areas.
- Algae is an ongoing problem and will be treated accordingly to District satisfaction as well as the aquatics mentioned above.
- Aquatic weeds mentioned above shall occupy no more than 1% of any lake or dry detention area at any one time. Noxious plants are defined as any water borne plant that will, if not managed properly through chemical or mechanical means, over take the desirable aquatic plants causing an unbalance of the waterway ecology system.
- All non-beneficial & invasive lake bank grasses and weeds, including torpedo grass, will be controlled from the water bodies current water's edge into the water body or dry detention area during all times of the year.
- Hydrilla, bladderwort, coontail, chara and other matting type aquatic plants shall be treated or removed immediately upon identification in the water body, either on the surface or below it.
- The Contractor is required to make, at minimum, weekly visits to the site to ensure the success of the Aquatic Weed Control Program. The Contractor shall make such additional site visits as required by the District to treat the Districts' Water Management System. Required additional visits shall be made within 24 hours of request from the Districts Resident Project Representative.

- Additionally, the operations shall include the removal of such exotic plants as Melaleuca, Brazilian Pepper, Australian pines, Downy Rose Myrtle and all other exotic or invasive plant materials as identified on the latest Florida Exotic Pest Plant Council's list of Category I or II invasive and exotic species, as may be updated from time to time. (See Exhibit "B" attached)
- The Contractor is required to thoroughly maintain the wetland and wetland prairies at a **minimum of two times per year** and/or as maybe required to ensure compliance with permit, permit monitoring reporting and sound aesthetic management. Special care should be taken to ensure that control measures do not disrupt the plant cover and diversity of adjacent mitigation areas, littoral shelves or vegetated pond banks.
- **Special Requirements:** The contractor is to maintain the conservation vegetation three feet from the perimeter wall/fencing located at the areas designated as R1-R9, R14, R15, R18 & R19 on the Exhibit A1 Map.

2. **Littoral Zone Maintenance.**

The Contractor will remove weeds, exotics and other nuisance vegetation from littoral zones. Additionally, these same weeds will be removed below the water level around the perimeters of the lakes, flow ways and dry detention areas as noted within Exhibit "A". However, beneficial and "attractive" plant species should be allowed to develop in these shelves, pond banks and dry detention areas. The Contractor will discuss with the District which species should be removed and which should be retained.

3. **Aeration Maintenance.**

The Contractor will perform inspection and cleaning maintenance in accordance with the terms and conditions of this agreement.

- Semiannual (2) maintenance visits, as required approximately once every 180 days (September/March). Additional cleanings will be billed at time and materials. Detailed inspection reports to include photo/date stamped picture documentation of each system must be submitted to the District upon completion.
- including a written report be provided to the District Manager. Additional cleanings will be billed at time and materials.
- Inspection and cleaning will be provided for all existing aeration systems.
- Two (2) Air 1 Systems for Lakes BB4 & U5
- Compressor Services
 - Replace compressor head gasket, piston cups and/or vanes, as needed, to maintain required air volume and pressure output.
 - Adjust air manifold and pressure relief valves to insure optimal performance.
 - Replace external air filters twice per year.
 - Replace internal air filters once per year.
 - Clean muffler assembly and filter.
 - Check and adjust compressor, CFM and PSI calibrate pressure relief valve.
- Cabinet Services
 - Inspect and lubricate cooling fan.

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- Remove excessive grass/weed growth from around compressor cabinets(s) to maintain optimal air flow and operating temperatures.
 - Apply fire ant bait around cabinet, when necessary.
 - Clean cabinet interior.
 - Lubricate cabinet hinges and barrel lock.
 - Test and reset GFI circuitry.
- Diffuser Services
 - Flex clean and adjust each diffuser assembly, for proper air flow and optimal performance.
 - Air Line Services
 - Inspect and repair, airline supply tubing and fittings.
 - Parts and special repairs are not included in this agreement. All repairs are to be done on a proposal basis only. Parts may be built separately. No more than a 15% markup, with cost to contractor, will be accepted. All actions are subject to auditing review. Parts and repair costs will be billed separately.

4. **Miscellaneous Requirements.**

- The Contractor shall use only approved chemicals and methods. In the event a chemical or method is banned by a governing agency in the State of Florida, or the Federal Government, during the term of the contract, the Contractor shall continue work using other approved chemicals or methods.
- All weeds removed by physical or mechanical means shall be hauled away and shall be disposed of by the Contractor, unless otherwise arranged.
- The Contractor shall use due care to avoid damage to adjacent lawns and shrubbery. The rate of application of chemicals shall be limited to avoid fish kills and unnecessary impacts to non-weedy or desirable wetland vegetation.
- The Contractor will make sure that nuisance aquatic vegetation is removed from all equipment prior to entry into ponds to preclude introduction of the weeds into other ponds.
- Trash and other foreign debris will be removed from each pond and mitigation area on at least a bi-weekly basis.

5. **Fixed Structures Inspection and reporting.**

The Contractor shall review and report, annually, on the condition of the fixed structures within the storm water ponds, wetlands, prairies, conservation areas and flow-ways. The fixed structures shall include control structures, culverts and headwalls. The annual inspection shall be completed in May of each year (absolute low water conditions) and shall include, at minimum, the information required on the attached Fixed Structures Inspection Form. Forms shall be completed and submitted to the District no later than June 1st of each year.

6. **Reports.**

The Contractor shall mail or email to the District, after each treatment, a report indicating the water management areas treated, chemicals used, condition of weed growth, number of men on the job site, and a summary of all agency required activities within mitigation areas.

7. **Payment.**

The Contractor will be paid within 45 days of receipt of invoice for work accomplished to the time during the previous month. Payment will be a pro-ration of the annual price for maintenance work outlined in the Bid Proposal section of this contract.

8. **Selection of Bid Items.**

In the event the bid prices exceed the funds available, the District reserves the right to delete certain items from the Schedule of Bid items before making the award of the contract. Additionally, certain facilities bid may not be ready for maintenance upon award of this bid, therefore those items shall be withheld from monthly billing until maintenance is required and authorized by the District.

9. **Tools, Plants and Equipment.**

If at any time before the commencement or during the progress of the work, the equipment appears to the District to be insufficient, inefficient or inappropriate to secure the quality of work required, or the proper rate of progress, the District may order the Contractor to increase their efficiency, to improve the character, to augment their number or substitute new equipment, as the case may be, and the Contractor shall conform to such order; the failure of the District to demand such increase of efficiency shall not relieve the Contractor of his obligation to secure the quality of work and the rate of progress necessary to complete the work within the time required by the contract and to the satisfaction of the District.

10. **Inspection.**

The work will be conducted under the direction of the District and is subject to inspection by his appointed inspectors to ensure compliance with the terms of the contract. No inspector is authorized to change any provision of the specifications without written authorization by the District, nor shall the presence or absence of an inspector relieve the Contractor from any requirements of the contract. Contractor "Manager", not applicator, shall attend the Aquatic Management meetings at a time and date to be mutually determined (at a frequency of not less than once a month). A ride through of the maintenance areas will be done at this time to check progress and correct problem areas.

11. **Acceptance of Finished Work.**

As needed, the District will make final inspection of the work covered by this contract when it is completed monthly.

12. **Contract Drawings and Specifications**

One (1) set of the drawings and specifications will be furnished to the Contractor without charge. Additional sets will be furnished upon request at the cost of reproduction.

13. **Qualifications.**

June 2023

VERANDAH EAST & WEST COMMUNITY DEVELOPMENT DISTRICT'S

Fixed Structure Inspection Form
(to be filled out for each structure regardless of findings)

Date: _____

Structure I.D.: _____

Type of Structure: _____

(to match records held at city)

Structural Inspection:

To check signs, posts and footings, including any other damage or deterioration that is visible to the inspector and/or other personnel.

Functional Inspection:

To check operation of all components, including any condition that is being repaired or replaced, to ensure proper operation. This includes the condition of all electrical components, if applicable.

Additional Conditions Observed:

To note other conditions, with notes on starting or ending the electrical inspection and any other notes on the structure.

Photo Numbers that Correspond with this report _____

Verandah East & West CDD
Maintenance of Water Management Areas
Aquatic Management
Bid Schedule Sheet 1 of 6

6/1/2023. Revised 5.18.23

1-Jun-24

		1 st Year			2 nd Year
Description	I.D. #	Price	Description	I.D. #	Price
Lake	L-A1	\$ 270.00	Lake	L-A1	\$ 270.00
Lake	L-A2	\$ 1,021.00	Lake	L-A2	\$ 1,021.00
Lake	L-A3A	\$ 496.00	Lake	L-A3A	\$ 496.00
Lake	L-A3B	\$ 761.00	Lake	L-A3B	\$ 761.00
Lake	L-A4	\$ 891.00	Lake	L-A4	\$ 891.00
Lake	L-A5	\$ 990.00	Lake	L-A5	\$ 990.00
Lake	L-A6	\$ 662.00	Lake	L-A6	\$ 662.00
Lake	L-A7	\$ 1,056.00	Lake	L-A7	\$ 1,056.00
Lake	L-A8	\$ 990.00	Lake	L-A8	\$ 990.00
Lake	L-B	\$ 960.00	Lake	L-B	\$ 960.00
Lake	L-B1	\$ 738.00	Lake	L-B1	\$ 738.00
Lake	L-E1	\$ 704.00	Lake	L-E1	\$ 704.00
Lake	L-E1A	\$ 100.00	Lake	L-E1A	\$ 100.00
Lake	L-E2	\$ 1,408.00	Lake	L-E2	\$ 1,408.00
Lake	L-F	\$ 547.00	Lake	L-F	\$ 547.00
Lake	L-F1	\$ 524.00	Lake	L-F1	\$ 524.00
Lake	L-F1A	\$ 563.00	Lake	L-F1A	\$ 563.00
Lake	L-G1	\$ 2,000.00	Lake	L-G1	\$ 2,000.00
Lake	L-G1A	\$ 396.00	Lake	L-G1A	\$ 396.00
Lake	L-H1	\$ 1,022.00	Lake	L-H1	\$ 1,022.00
Lake	L-H2	\$ 761.00	Lake	L-H2	\$ 761.00
Lake	L-H3	\$ 1,349.00	Lake	L-H3	\$ 1,349.00
Lake	L-H4	\$ 1,091.00	Lake	L-H4	\$ 1,091.00
Lake	L-H5	\$ 428.00	Lake	L-H5	\$ 428.00
Lake	L-H5A	\$ 428.00	Lake	L-H5A	\$ 428.00
Lake	L-H6	\$ 1,023.00	Lake	L-H6	\$ 1,023.00
Lake	L-H7	\$ 547.00	Lake	L-H7	\$ 547.00
Lake	L-H8A	\$ 726.00	Lake	L-H8A	\$ 726.00
Lake	L-H8B	\$ 1,022.00	Lake	L-H8B	\$ 1,022.00
Lake	L-H9	\$ 365.00	Lake	L-H9	\$ 365.00
Lake	L-H10	\$ 820.00	Lake	L-H10	\$ 820.00
Lake	L-H11	\$ 297.00	Lake	L-H11	\$ 297.00
Lake	L-H12	\$ 428.00	Lake	L-H12	\$ 428.00
Lake	L-H13	\$ 548.00	Lake	L-H13	\$ 548.00
Lake	L-H14	\$ 1,091.00	Lake	L-H14	\$ 1,091.00
Lake	L-K1	\$ 1,498.00	Lake	L-K1	\$ 1,498.00
Lake	L-K2	\$ 1,091.00	Lake	L-K2	\$ 1,091.00
Lake	L-L	\$ 1,846.00	Lake	L-L	\$ 1,846.00
Lake	L-N	\$ 1,091.00	Lake	L-N	\$ 1,091.00
Lake	L-O	\$ 1,352.00	Lake	L-O	\$ 1,352.00
Lake	L-P1	\$ 1,316.00	Lake	L-P1	\$ 1,316.00

Verandah East & West CDD
Maintenance of Water Management Areas
Aquatic Management
Bid Schedule Sheet 2 of 6

1-Jun-23		1 st Year		1-Jun-24		2 nd Year	
Description	ID#	Price	Description	ID#	Price	Description	Price
Lake	L-P2	\$ 1,056.00	Lake	L-P2	\$ 1,056.00		
Lake	L-P3	\$ 1,253.00	Lake	L-P3	\$ 1,253.00		
Lake	L-P4	\$ 3,596.00	Lake	L-P4	\$ 3,596.00		
Lake	L-5	\$ 662.00	Lake	L-5	\$ 662.00		
Lake	L-Q1A	\$ 1,052.00	Lake	L-Q1A	\$ 1,052.00		
Lake	L-Q1B	\$ 1,153.00	Lake	L-Q1B	\$ 1,153.00		
Lake	L-Q2A	\$ 134.00	Lake	L-Q2A	\$ 134.00		
Lake	L-Q2B	\$ 130.00	Lake	L-Q2B	\$ 130.00		
Lake	L-R2	\$ 1,155.00	Lake	L-R2	\$ 1,155.00		
Lake	L-R1A	\$ 1,434.00	Lake	L-R1A	\$ 1,434.00		
Lake	L-R1B	\$ 595.00	Lake	L-R1B	\$ 595.00		
Lake	R2A	\$ 128.00	Lake	R2A	\$ 128.00		
Lake	L-S1	\$ 1,222.00	Lake	L-S1	\$ 1,222.00		
Lake	L-S2	\$ 1,153.00	Lake	L-S2	\$ 1,153.00		
Lake	L-S3	\$ 793.00	Lake	L-S3	\$ 793.00		
Lake	L-S4	\$ 396.00	Lake	L-S4	\$ 396.00		
Lake	L-S5	\$ 496.00	Lake	L-S5	\$ 496.00		
Lake	L-T1	\$ 1,006.00	Lake	L-T1	\$ 1,006.00		
Lake	L-T2	\$ 1,518.00	Lake	L-T2	\$ 1,518.00		
Lake	L-T3	\$ 464.00	Lake	L-T3	\$ 464.00		
Lake	L-U1	\$ 165.00	Lake	L-U1	\$ 165.00		
Lake	L-U2	\$ 825.00	Lake	L-U2	\$ 825.00		
Lake	L-U3	\$ 864.00	Lake	L-U3	\$ 864.00		
Lake	L-U3A	\$ 627.00	Lake	L-U3A	\$ 627.00		
Lake	L-U4	\$ 396.00	Lake	L-U4	\$ 396.00		
Lake "A"	L-U5	\$ 1,384.00	Lake "A"	L-U5	\$ 1,384.00		
Lake	L-W1	\$ 330.00	Lake	L-W1	\$ 330.00		
Lake	L-W2	\$ 1,222.00	Lake	L-W2	\$ 1,222.00		
Lake	L-W3	\$ 1,351.00	Lake	L-W3	\$ 1,351.00		
Lake	L-W4	\$ 1,244.00	Lake	L-W4	\$ 1,244.00		
Lake	L-X	\$ 1,384.00	Lake	L-X	\$ 1,384.00		
Lake	L-Y1	\$ 396.00	Lake	L-Y1	\$ 396.00		
Lake	L-Z1	\$ 1,350.00	Lake	L-Z1	\$ 1,350.00		
Lake	L-Z2A	\$ 464.00	Lake	L-Z2A	\$ 464.00		
Lake	L-Z2B	\$ 627.00	Lake	L-Z2B	\$ 627.00		

Verandah East & West CDD
Maintenance of Water Management Areas
Aquatic Management
Bid Schedule Sheet 3 of 6

1-Jun-23

6/1/2024

Description:	ID#	1 st Year Price	Description:	ID#	2 nd Year Price
Lake	L-Z2C	\$ 214.00	Lake	L-Z2C	\$ 214.00
Lake	L-Z3	\$ 627.00	Lake	L-Z3	\$ 627.00
Lake	L-Z4	\$ 1,268.00	Lake	L-Z4	\$ 1,268.00
Lake	L-ZAA1	\$ 1,121.00	Lake	L-ZAA1	\$ 1,121.00
Lake	L-AA2	\$ 464.00	Lake	L-AA2	\$ 464.00
Lake	L-BB1	\$ 593.00	Lake	L-BB1	\$ 593.00
Lake	L-BB2	\$ 2,826.00	Lake	L-BB2	\$ 2,826.00
Lake	L-BB3	\$ 1,320.00	Lake	L-BB3	\$ 1,320.00
Lake "A"	LBB4	\$ 627.00	Lake "A"	LBB4	\$ 627.00
Lakes Subtotal		\$ 76,302.00	Lakes Subtotal		\$ 76,302.00
Wetland	WA1	\$ 1,629.00	Wetland	WA1	\$ 1,629.00
Wetland	WE1	\$ 849.00	Wetland	WE1	\$ 849.00
Wetland	WE2	\$ 394.00	Wetland	WE2	\$ 394.00
Wetland	WE3	\$ 40.00	Wetland	WE3	\$ 40.00
Wetland	WE4	\$ 100.00	Wetland	WE4	\$ 100.00
Wetland	WE5	\$ 35.00	Wetland	WE5	\$ 35.00
Wetland	WE6	\$ 728.00	Wetland	WE6	\$ 728.00
Wetland	WE7	\$ 20.00	Wetland	WE7	\$ 20.00
Wetland	WE8	\$ 1,270.00	Wetland	WE8	\$ 1,270.00
Wetland	WH1	\$ 1,024.00	Wetland	WH1	\$ 1,024.00
Wetland	WH2	\$ 1,085.00	Wetland	WH2	\$ 1,085.00
Wetland	WH3	\$ 52.00	Wetland	WH3	\$ 52.00
Wetland	WL1	\$ 1,142.00	Wetland	WL1	\$ 1,142.00
Wetland	WL2	\$ 1,850.00	Wetland	WL2	\$ 1,850.00
Wetland	WN1	\$ 394.00	Wetland	WN1	\$ 394.00
Wetland	WOS1	\$ 148.00	Wetland	WOS1	\$ 148.00
Wetland	WOS2	\$ 82.00	Wetland	WOS2	\$ 82.00
Wetland	WOS3	\$ 108.00	Wetland	WOS3	\$ 108.00
Wetland	WOS4	\$ 110.00	Wetland	WOS4	\$ 110.00
Wetland	WQ1	\$ 1,295.00	Wetland	WQ1	\$ 1,295.00
Wetland	WQ2A	\$ 216.00	Wetland	WQ2A	\$ 216.00
Wetland	WQ2B	\$ 100.00	Wetland	WQ2B	\$ 100.00
Wetland	WQ2C	\$ 118.00	Wetland	WQ2C	\$ 118.00
Wetland	WR1	\$ 256.00	Wetland	WR1	\$ 256.00
Wetland	WR1A	\$ 256.00	Wetland	WR1A	\$ 256.00
Wetland	WR1B	\$ 1,470.00	Wetland	WR1B	\$ 1,470.00

Verandah East & West CDD
Maintenance of Water Management Areas
Aquatic Management
Bid Schedule Sheet 4 of 6

1-Jun-23

6/1/2024

Description:	ID#	1 st Year Price	Description:	ID#	2 nd Year Price
Wetland	WR1C	\$ 1,020.00	Wetland	WR1C	\$ 1,020.00
Wetland	WR2	\$ 295.00	Wetland	WR2	\$ 295.00
Wetland	WU1	\$ 1,163.00	Wetland	WU1	\$ 1,163.00
Wetland	WU3	\$ 571.00	Wetland	WU3	\$ 571.00
Wetland	WU5A	\$ 275.00	Wetland	WU5A	\$ 275.00
Wetland	W4	\$ 153.00	Wetland	W4	\$ 153.00
Wetland	WY1	\$ 886.00	Wetland	WY1	\$ 886.00
Wetland	WZ1	\$ 860.00	Wetland	WZ1	\$ 860.00
Wetland	WZ2A	\$ 830.00	Wetland	WZ2A	\$ 830.00
Wetland	WZ2B	\$ 684.00	Wetland	WZ2B	\$ 684.00
Wetland	WZ3	\$ 1,144.00	Wetland	WZ3	\$ 1,144.00
Wetland	WAA1	\$ 169.00	Wetland	WAA1	\$ 169.00
Wetland	WAA2	\$ 138.00	Wetland	WAA2	\$ 138.00
Wetland	WAA3	\$ 60.00	Wetland	WAA3	\$ 60.00
Wetland	WAA4	\$ 768.00	Wetland	WAA4	\$ 768.00
Wetland	WAA5	\$ 108.00	Wetland	WAA5	\$ 108.00
Wetland Subtotal		\$ 23,898.00	Wetland Subtotal		\$ 23,898.00
Conservation	UCA1	\$ 151.00	Conservation	UCA1	\$ 151.00
Conservation	UCA2	\$ 435.00	Conservation	UCA2	\$ 435.00
Conservation	UCA3	\$ 108.00	Conservation	UCA3	\$ 108.00
Conservation	UCA4	\$ 167.00	Conservation	UCA4	\$ 167.00
Conservation	UUCA5	\$ 86.00	Conservation	UUCA5	\$ 86.00
Conservation	UCB1	\$ 141.00	Conservation	UCB1	\$ 141.00
Conservation	UCE1	\$ 985.00	Conservation	UCE1	\$ 985.00
Conservation	UCE2	\$ 2,020.00	Conservation	UCE2	\$ 2,020.00
Conservation	UCE3	\$ 197.00	Conservation	UCE3	\$ 197.00
Conservation	UCE4	\$ 10.00	Conservation	UCE4	\$ 10.00
Conservation	UCE5	\$ 788.00	Conservation	UCE5	\$ 788.00
Conservation	UCE6	\$ 4.00	Conservation	UCE6	\$ 4.00
Conservation	UCE7	\$ 20.00	Conservation	UCE7	\$ 20.00
Conservation	UCE8	\$ 24.00	Conservation	UCE8	\$ 24.00
Conservation	UCE9	\$ 4.00	Conservation	UCE9	\$ 4.00
Conservation	UCH1	\$ 85.00	Conservation	UCH1	\$ 85.00
Conservation	UCH2	\$ 88.00	Conservation	UCH2	\$ 88.00
Conservation	UCH3	\$ 104.00	Conservation	UCH3	\$ 104.00

Verandah East & West CDD
Maintenance of Water Management Areas
Aquatic Management
Bid Schedule Sheet 5 of 6

1-Jun-23		6/1/2024			
Description:	ID#	1 st Year Price	Description:	ID#	2 nd Year Price
Conservation	UCH4	\$ 16.00	Conservation	UCH4	\$ 16.00
Conservation	UCH5	\$ 55.00	Conservation	UCH5	\$ 55.00
Conservation	UCH6	\$ 20.00	Conservation	UCH6	\$ 20.00
Conservation	UCL1	\$ 181.00	Conservation	UCL1	\$ 181.00
Conservation	UCL2	\$ 512.00	Conservation	UCL2	\$ 512.00
Conservation	UCL3	\$ 512.00	Conservation	UCL3	\$ 512.00
Conservation	UCL4	\$ 122.00	Conservation	UCL4	\$ 122.00
Conservation	UCL5	\$ 414.00	Conservation	UCL5	\$ 414.00
Conservation	UCN1	\$ 1,395.00	Conservation	UCN1	\$ 1,395.00
Conservation	UCOS1	\$ 197.00	Conservation	UCOS1	\$ 197.00
Conservation	UCOS2	\$ 2,283.00	Conservation	UCOS2	\$ 2,283.00
Conservation	UCOS3	\$ 40.00	Conservation	UCOS3	\$ 40.00
Conservation	UCOS4	\$ 295.00	Conservation	UCOS4	\$ 295.00
Conservation	UCQ1	\$ 148.00	Conservation	UCQ1	\$ 148.00
Conservation	UCQ2	\$ 236.00	Conservation	UCQ2	\$ 236.00
Conservation	UCQ2A	\$ 2,217.00	Conservation	UCQ2A	\$ 2,217.00
Conservation	UCQ3	\$ 42.00	Conservation	UCQ3	\$ 42.00
Conservation	UCQ4	\$ 295.00	Conservation	UCQ4	\$ 295.00
Conservation	UCR1	\$ 100.00	Conservation	UCR1	\$ 100.00
Conservation	UCR1A	\$ 669.00	Conservation	UCR1A	\$ 669.00
Conservation	UCR2	\$ 100.00	Conservation	UCR2	\$ 100.00
Conservation	UCU1	\$ 354.00	Conservation	UCU1	\$ 354.00
Conservation	UCU2	\$ 108.00	Conservation	UCU2	\$ 108.00
Conservation	UCU3	\$ 100.00	Conservation	UCU3	\$ 100.00
Conservation	UCU5	\$ 190.00	Conservation	UCU5	\$ 190.00
Conservation	UCU5A	\$ 472.00	Conservation	UCU5A	\$ 472.00
Conservation	UCW4	\$ 197.00	Conservation	UCW4	\$ 197.00
Conservation	UCX	\$ 137.00	Conservation	UCX	\$ 137.00
Conservation	UCY1	\$ 139.00	Conservation	UCY1	\$ 139.00
Conservation	UCY2	\$ 394.00	Conservation	UCY2	\$ 394.00
Conservation	UCZ1	\$ 334.00	Conservation	UCZ1	\$ 334.00
Conservation	UCZ2A	\$ 177.00	Conservation	UCZ2A	\$ 177.00
Conservation	UCZ2B	\$ 177.00	Conservation	UCZ2B	\$ 177.00
Conservation	UCZ2C	\$ 472.00	Conservation	UCZ2C	\$ 472.00
Conservation	UCZ2D	\$ 236.00	Conservation	UCZ2D	\$ 236.00

Verandah East & West CDD
Maintenance of Water Management Areas
Aquatic Management
Bid Schedule Sheet 6 of 6

1-Jun-23

6/1/2024

Description:	ID#	1 st Year Price	Description:	ID#	2 nd Year Price
Conservation	UCZ3	\$ 1,103.00	Conservation	UCZ3	\$ 1,103.00
Conservation	UCA3A	\$ 69.00	Conservation	UCA3A	\$ 69.00
Conservation	UCZ4	\$ 128.00	Conservation	UCZ4	\$ 128.00
Conservation	UCZ5	\$ 128.00	Conservation	UCZ5	\$ 128.00
Conservation	UCAA1	\$ 413.00	Conservation	UCAA1	\$ 413.00
Conservation	UCAA2	\$ 30.00	Conservation	UCAA2	\$ 30.00
Conservation	UCAA3	\$ 1,278.00	Conservation	UCAA3	\$ 1,278.00
Conservation Subtotal		\$ 21,902.00	Conservation Subtotal		\$ 21,902.00
Structure Review/Reporting		\$ 400.00	Structure Review/Reporting		\$ 400.00
Aeration Maintenance		\$ 500.00	Aeration Maintenance		\$ 500.00
VE Wall Maintenance		\$ 1,800.00	VE Wall Maintenance		\$ 1,800.00

Grand Total 1st Year:

\$ 124,064.00

Grand Total 2nd Year:

\$ 124,064.00

Florida Department of Agriculture and Consumer Services
Pesticide Certification Office
Commercial Applicator License
License # CM20467

BOWLING, GEORGE JOSEPH
5600 SW 12TH PLACE
CAPE CORAL, FL 33914

Categories
5A, 21

Issued: June 20, 2022

Expires: June 30, 2026

Signature of Licensee


NICOLE "NIKKI" FRIED, COMMISSIONER

The above individual is licensed under the provisions of Chapter 487, F.S. to purchase and apply restricted use pesticides.

Florida Department of Agriculture and Consumer Services
Pesticide Certification Office
Commercial Applicator License
License # CM24645

SHEERAN, JAMES THOMAS
3666 GOLF CART DR
N FORT MYERS, FL 33917

Categories
5A

Issued: January 20, 2021

Expires: January 31, 2025

Signature of Licensee

Nicole Fried

NICOLE "NIKKI" FRIED, COMMISSIONER

The above individual is licensed under the provisions of Chapter 487, F.S. to purchase and apply restricted use pesticides

able State variances, then complete a Medical Examiner's Certificate, as appropriate.

ewed all available records and recorded information pertaining to this evaluation.
correct.

ner Services

Pesticide Certification Office

Florida Department of Agriculture and Consumer Services
Pesticide Certification Office

Commercial Applicator License

License # CM26135

GURULE, JAY LEROY

2312 EPHRAIM AVE

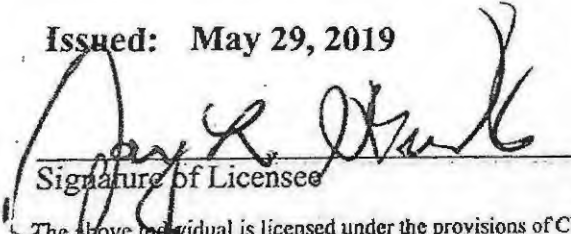
FORT MYERS, FL 33907

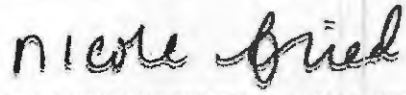
Categories

5A

Issued: May 29, 2019

Expires: May 31, 2023


Signature of Licensee


NICOLE "NIKKI" FRIED, COMMISSIONER

The above individual is licensed under the provisions of Chapter 487, F.S. to purchase and apply restricted use pesticides.



Relevant Experience

We would like to offer the following relevant specific references, which show the diversity of skills we can bring to this project. Additionally, it should be noted that we manage over a thousand (1,000) waterways in the State of Florida, servicing over five hundred (500) customers annually.

Job Title: **Exotic Vegetation Control Contract**
Owner/Owner's Rep: Isles of Collier Preserve
Work Performed: Herbicide application to control exotics in Preserves, Buffers & Waterways, Ditches, and Swale Areas
Contract Amount: \$600,000+
Work Completed On: In Progress
Contact: Jayne Concialdi
Phone: (239) 732-0842

Job Title: **Pond Management**
Owner/Owner's Rep: Gateway CDD
Work Performed: Aquatic and vegetation Control in ponds and preserves on a monthly basis. Also providing services such as aquatic plants and shoreline restoration.
Contract Amount: \$305,000.00
Work Completed On: In progress
Contact: Elle Harris
Phone: (239) 561-1313

Job Title: **Lakes and Littorals**
Owner/Owner's Rep: Fiddlesticks Country Club
Work Performed: Aquatic and vegetation Control in lakes and littorals on a monthly basis.
Contract Amount: \$100,000+
Work Completed On: In progress
Contact: Gabe Gallo
Phone: (239) 768-2332



Job Title: **Pond Management**
Owner/Owner's Rep: TPC Prestancia
Work Performed: Aquatic and vegetation Control in ponds on a monthly basis.
Also providing services such as aquatic plants and shoreline restoration.
Contract Amount: \$70,000+
Work Completed On: In progress
Contact: Clive Burnett
Phone: (941) 927-1946

From: Administrator <admin@crosscreekenv.com>
Sent: Tuesday, March 21, 2023 3:38 PM
To: Jeremy Trahan <jeremy@crosscreekenv.com>
Subject: RE: VE.VW Aquatics Wetlands RFP Package 2023-2025.pdf

Hi Cleo,

Please find our Lee County license and technical certifications attached to this email for your reference.

Crosscreek was established in 2007 and we've been dedicated to the maintenance of lakes and wetlands for over 16 years. Our expertise and commitment to excellence have allowed us to build a solid reputation in the industry. Our team of technicians, who will be servicing your account, is led by Jim Sheeran and Jay Gurule. Mr. Sheeran brings 20 years of experience to the table, while Mr. Gurule contributes an additional 6 years of valuable experience. We are confident that their combined expertise will help us deliver the best possible service to your organization. Should you have any questions or require further assistance, please do not hesitate to reach out to me. I am more than happy to help.

Thank you for considering Crosscreek as your partner in lake and wetland maintenance. We look forward to working with you.

Thank you!!

Thank you,

Karissa Arrasmith
Crosscreek Environmental, Inc.
111 61st Street East
Palmetto, FL 34221
Phone: (941) 479-7811
Fax: (941) 479-7812
www.crosscreekenv.com
<image008.jpg>

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT**

6

RESOLUTION 2024-04

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE VERANDAH EAST COMMUNITY DEVELOPMENT DISTRICT RELATING TO THE AMENDMENT OF THE ANNUAL BUDGET FOR THE FISCAL YEAR BEGINNING OCTOBER 1, 2022 AND ENDING SEPTEMBER 30, 2023; AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, on August 10, 2022, the Board of Supervisors (“Board”) of the Verandah East Community Development District (“District”), adopted a Budget for Fiscal Year 2022/2023; and

WHEREAS, the Board desires to amend the previously adopted budget for Fiscal Year 2022/2023.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE VERANDAH EAST COMMUNITY DEVELOPMENT DISTRICT:

Section 1. The Fiscal Year 2022/2023 Budget is hereby amended in accordance with Exhibit “A” attached hereto; and

Section 2. This resolution shall become effective immediately upon its adoption, and be reflected in the monthly and Fiscal Year End September 30, 2023 Financial Statements and Audit Report of the District.

PASSED AND ADOPTED this 8th day of May, 2024.

ATTEST:

**VERANDAH EAST COMMUNITY
DEVELOPMENT DISTRICT**

Secretary/Assistant Secretary

Chair/Vice Chair, Board of Supervisors

EXHIBIT "A"

**VERANDAH EAST & VERANDAH WEST
COMMUNITY DEVELOPMENT DISTRICTS
AMENDED BUDGETS
FISCAL YEAR 2023
EFFECTIVE NOVEMBER 1, 2023**

**VERANDAH EAST & VERANDAH WEST
COMMUNITY DEVELOPMENT DISTRICTS
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**VERANDAH EAST & VERANDAH WEST
COMMUNITY DEVELOPMENT DISTRICTS
COMBINED GENERAL FUND BUDGETS
FISCAL YEAR 2023**

	Fiscal Year 2023				
	Adopted FY 2023 Budget	Actual through 9/30/2023	Budget to Actual Variance	Proposed Amendment Increase/ (Decrease)	Amended FY 2023 Budget
REVENUES					
Assessment levy: on-roll - net	\$ 391,570	\$ 398,600	\$ (7,030)	\$ 7,030	\$ 398,600
Assessment levy: off-roll	18,902	18,999	(97)	97	18,999
Interest and miscellaneous	600	34	566	(566)	34
Total revenues	<u>411,072</u>	<u>417,633</u>	<u>(6,561)</u>	<u>6,561</u>	<u>417,633</u>
EXPENDITURES					
Professional & admin					
Supervisors	7,000	7,400	(400)	400	7,400
Management and accounting	124,960	124,960	-	-	124,960
Audit	14,900	14,900	-	-	14,900
Legal	10,000	9,170	830	(830)	9,170
Field management	21,163	21,163	-	-	21,163
Engineering	5,000	26,380	(21,380)	21,380	26,380
Trustee	10,000	10,303	(303)	303	10,303
Dissemination agent	8,280	8,280	-	-	8,280
Arbitrage rebate calculation	3,000	1,000	2,000	(2,000)	1,000
Assessment roll preparation	24,000	24,000	-	-	24,000
Telephone	775	775	-	-	775
Postage	500	1,290	(790)	790	1,290
Insurance	15,200	7,236	7,964	(7,964)	7,236
Printing & binding	1,614	1,614	-	-	1,614
Legal advertising	1,500	1,913	(413)	413	1,913
Office expenses & supplies	250	-	250	(250)	-
Website	1,410	-	1,410	(1,410)	-
ADA website compliance	400	210	190	(190)	210
Contingencies	1,500	1,187	313	(313)	1,187
Annual district filing fee	350	350	-	-	350
Total professional & admin	<u>251,802</u>	<u>262,131</u>	<u>(10,329)</u>	<u>10,329</u>	<u>262,131</u>
Water management					
Contractual services	123,050	125,144	(2,094)	2,094	125,144
Aquascaping/pipe cleanout	5,000	2,480	2,520	(2,520)	2,480
Perimeter fence/wall ongoing RM not sha	2,500	3,380	(880)	880	3,380
Utilities	1,200	1,273	(73)	73	1,273
Contingencies	5,000	-	5,000	30,000	35,000
Total water management	<u>136,750</u>	<u>132,277</u>	<u>4,473</u>	<u>30,527</u>	<u>167,277</u>

**VERANDAH EAST & VERANDAH WEST
COMMUNITY DEVELOPMENT DISTRICTS
COMBINED GENERAL FUND BUDGETS
FISCAL YEAR 2023**

	Fiscal Year 2023				
	Adopted FY 2023 Budget	Actual through 9/30/2023	Budget to Actual Variance	Proposed Amendment Increase/ (Decrease)	Amended FY 2023 Budget
Other fees and charges					
Property appraiser	1,740	1,631	109	(109)	1,631
Tax collector	2,610	1,825	785	(785)	1,825
Total other fees and charges	<u>4,350</u>	<u>3,456</u>	<u>894</u>	<u>(894)</u>	<u>3,456</u>
Total expenditures	<u>392,902</u>	<u>397,864</u>	<u>(4,962)</u>	<u>39,962</u>	<u>432,864</u>
Net increase/(decrease) of fund balance	18,170	19,769	(1,599)	(33,401)	(15,231)
Fund balance - beginning (unaudited)	133,103	103,099	30,004	(30,004)	103,099
Fund balance - ending (projected)	<u>\$ 151,273</u>	<u>\$ 122,868</u>	<u>\$ 28,405</u>	<u>\$ (63,405)</u>	<u>\$ 87,868</u>

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT
GENERAL FUND BUDGET
FISCAL YEAR 2023**

	Fiscal Year 2023				
	Adopted FY 2023 Budget	Actual through 9/30/2023	Budget to Actual Variance	Proposed Amendment Increase/ (Decrease)	Amended FY 2023 Budget
REVENUES					
Assessment levy: on-roll - gross	\$ 206,835				\$ 209,044
Allowable discounts (4%)	(8,273)				(8,362)
Assessment levy: on-roll - net	\$ 198,562	\$ 200,682	\$ (2,120)	\$ 2,120	\$ 200,682
Interest and miscellaneous	263	16	247	(247)	16
Total revenues	<u>198,825</u>	<u>200,698</u>	<u>(1,873)</u>	<u>1,873</u>	<u>200,698</u>
EXPENDITURES					
Professional & admin					
Supervisors	3,070	3,252	(182)	182	3,252
Management and accounting	54,805	54,805	-	-	54,805
Audit	6,535	6,556	(21)	21	6,556
Legal	4,386	4,035	351	(351)	4,035
Field management	9,282	9,282	-	-	9,282
Engineering	2,193	7,153	(4,960)	4,960	7,153
Trustee	4,386	4,533	(147)	147	4,533
Dissemination agent	3,631	3,631	-	-	3,631
Arbitrage rebate calculation	1,316	440	876	(876)	440
Assessment roll preparation	10,526	10,560	(34)	34	10,560
Telephone	340	340	-	-	340
Postage	219	567	(348)	348	567
Insurance	6,666	3,167	3,499	(3,499)	3,167
Printing & binding	708	708	-	-	708
Legal advertising	658	842	(184)	184	842
Office expenses & supplies	110	-	110	(110)	-
Website	618	-	618	(618)	-
ADA website compliance	175	92	83	(83)	92
Contingencies	658	641	17	(17)	641
Annual district filing fee	154	154	-	-	154
Total professional & admin	<u>110,436</u>	<u>110,758</u>	<u>(322)</u>	<u>322</u>	<u>110,758</u>
Water management					
Contractual services	53,967	55,063	(1,096)	1,096	55,063
Aquascaping/Pipe Cleanout	2,193	1,091	1,102	(1,102)	1,091
Perimeter fence/wall ongoing RM not sha	2,500	3,380	(880)	880	3,380
Utilities	526	560	(34)	34	560
Contingencies	2,193	-	2,193	12,807	15,000
Total water management	<u>61,379</u>	<u>60,094</u>	<u>1,285</u>	<u>13,715</u>	<u>75,094</u>

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT
GENERAL FUND BUDGET
FISCAL YEAR 2023**

	Fiscal Year 2023				
	Adopted FY 2023 Budget	Actual through 9/30/2023	Budget to Actual Variance	Proposed Amendment Increase/ (Decrease)	Amended FY 2023 Budget
Other fees and charges					
Property appraiser	804	718	86	(86)	718
Tax collector	1,206	830	376	(376)	830
Total other fees and charges	<u>2,010</u>	<u>1,548</u>	<u>462</u>	<u>(462)</u>	<u>1,548</u>
Total expenditures	<u>173,825</u>	<u>172,400</u>	<u>1,425</u>	<u>13,575</u>	<u>187,400</u>
 Net increase/(decrease) of fund balance	 25,000	 28,298	 (3,298)	 (11,702)	 13,298
 Fund balance - beginning (unaudited)	 <u>25,907</u>	 <u>13,578</u>	 <u>12,329</u>	 <u>(12,329)</u>	 <u>13,578</u>
Fund balance - ending (projected)	<u>\$ 50,907</u>	<u>\$ 41,876</u>	<u>\$ 9,031</u>	<u>\$ (24,031)</u>	<u>\$ 26,876</u>

**VERANDAH WEST
COMMUNITY DEVELOPMENT DISTRICT
GENERAL FUND BUDGET
FISCAL YEAR 2023**

	Fiscal Year 2023				
	Adopted FY 2023 Budget	Actual through 9/30/2023	Budget to Actual Variance	Proposed Amendment Increase/ (Decrease)	Amended FY 2023 Budget
REVENUES					
Assessment levy: on-roll - net	\$ 193,008	\$ 197,918	\$ (4,910)	\$ 4,910	\$ 197,918
Assessment levy: off-roll	18,902	18,999	(97)	97	18,999
Interest and miscellaneous	337	18	319	(319)	18
Total revenues	<u>212,247</u>	<u>216,935</u>	<u>(4,688)</u>	<u>4,688</u>	<u>216,935</u>
EXPENDITURES					
Professional & admin					
Supervisors	3,930	4,148	(218)	218	4,148
Management and accounting	70,155	70,155	-	-	70,155
Audit	8,365	8,344	21	(21)	8,344
Legal	5,614	5,135	479	(479)	5,135
Field management	11,881	11,881	-	-	11,881
Engineering	2,807	19,227	(16,420)	16,420	19,227
Trustee	5,614	5,770	(156)	156	5,770
Dissemination agent	4,649	4,649	-	-	4,649
Arbitrage rebate calculation	1,684	560	1,124	(1,124)	560
Assessment roll preparation	13,474	13,440	34	(34)	13,440
Telephone	435	435	-	-	435
Postage	281	723	(442)	442	723
Insurance	8,534	4,069	4,465	(4,465)	4,069
Printing & binding	906	906	-	-	906
Legal advertising	842	1,071	(229)	229	1,071
Office expenses & supplies	140	-	140	(140)	-
Website	792	-	792	(792)	-
ADA website compliance	225	118	107	(107)	118
Contingencies	842	546	296	(296)	546
Annual district filing fee	196	196	-	-	196
Total professional & admin fees	<u>141,366</u>	<u>151,373</u>	<u>(10,007)</u>	<u>10,007</u>	<u>151,373</u>
Water management					
Contractual services	69,083	70,081	(998)	998	70,081
Aquascaping/pipe cleanout	2,807	1,389	1,418	(1,418)	1,389
Utilities	674	713	(39)	39	713
Contingencies	2,807	-	2,807	17,193	20,000
Total water management	<u>75,371</u>	<u>72,183</u>	<u>3,188</u>	<u>16,812</u>	<u>92,183</u>

**VERANDAH WEST
COMMUNITY DEVELOPMENT DISTRICT
GENERAL FUND BUDGET
FISCAL YEAR 2023**

	Fiscal Year 2023				
	Adopted FY 2023 Budget	Actual through 9/30/2023	Budget to Actual Variance	Proposed Amendment Increase/ (Decrease)	Amended FY 2023 Budget
Other fees and charges					
Property appraiser	936	913	23	(23)	913
Tax collector	1,404	995	409	(409)	995
Total other fees and charges	<u>2,340</u>	<u>1,908</u>	<u>432</u>	<u>(432)</u>	<u>1,908</u>
Total expenditures	<u>219,077</u>	<u>225,464</u>	<u>(6,387)</u>	<u>26,387</u>	<u>245,464</u>
 Net Increase/(decrease) of fund balance	 (6,830)	 (8,529)	 1,699	 (21,699)	 (28,529)
 Fund balance - beginning (unaudited)	 107,196	 89,521	 17,675	 (17,675)	 89,521
Fund balance - ending (projected)	<u><u>\$ 100,366</u></u>	<u><u>\$ 80,992</u></u>	<u><u>\$ 19,374</u></u>	<u><u>\$ (39,374)</u></u>	<u><u>\$ 60,992</u></u>

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT**

7

RESOLUTION 2024-02

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE VERANDAH EAST COMMUNITY DEVELOPMENT DISTRICT APPROVING A PROPOSED BUDGET FOR FISCAL YEAR 2024/2025 AND SETTING A PUBLIC HEARING THEREON PURSUANT TO FLORIDA LAW; ADDRESSING TRANSMITTAL, POSTING AND PUBLICATION REQUIREMENTS; ADDRESSING SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the District Manager has heretofore prepared and submitted to the Board of Supervisors ("**Board**") of the Verandah East Community Development District ("**District**") prior to June 15, 2024, proposed budgets ("**Proposed Budget**") for the fiscal year beginning October 1, 2024 and ending September 30, 2025 ("**Fiscal Year 2024/2025**"); and

WHEREAS, the Board has considered the Proposed Budget and desires to set the required public hearing thereon.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE VERANDAH EAST COMMUNITY DEVELOPMENT DISTRICT:

1. **PROPOSED BUDGET APPROVED.** The Proposed Budget prepared by the District Manager for Fiscal Year 2024/2025 attached hereto as **Exhibit A** is hereby approved as the basis for conducting a public hearing to adopt said Proposed Budget.

2. **SETTING A PUBLIC HEARING.** A public hearing on said approved Proposed Budget is hereby declared and set as follows:

DATE: August 14, 2024

HOUR: 1:00 PM

LOCATION: 11390 Palm Beach Blvd., First Floor
Fort Myers, Florida 33905

3. **TRANSMITTAL OF PROPOSED BUDGET TO LOCAL GENERAL PURPOSE GOVERNMENT.** The District Manager is hereby directed to submit a copy of the Proposed Budget to Lee County at least 60 days prior to the hearing set above.

4. **POSTING OF PROPOSED BUDGET.** In accordance with Section 189.016, *Florida Statutes*, the District's Secretary is further directed to post the approved Proposed Budget on the District's website at least two days before the budget hearing date as set forth in Section 2 and shall remain on the website for at least 45 days.

5. **PUBLICATION OF NOTICE.** Notice of this public hearing shall be published in the manner prescribed in Florida law.

6. **SEVERABILITY.** The invalidity or unenforceability of any one or more provisions of this Resolution shall not affect the validity or enforceability of the remaining portions of this Resolution, or any part thereof.

7. **EFFECTIVE DATE.** This Resolution shall take effect immediately upon adoption.

PASSED AND ADOPTED THIS 8TH DAY OF MAY, 2024.

ATTEST:

**VERANDAH EAST COMMUNITY
DEVELOPMENT DISTRICT**

Secretary/Assistant Secretary

Chair/Vice Chair, Board of Supervisors

Exhibit A: Fiscal Year 2024/2025 Proposed Budget

Exhibit A: Fiscal Year 2024/2025 Proposed Budget

**VERANDAH EAST & VERANDAH WEST
COMMUNITY DEVELOPMENT DISTRICTS
PROPOSED BUDGETS
FISCAL YEAR 2025**

**VERANDAH EAST & VERANDAH WEST
COMMUNITY DEVELOPMENT DISTRICTS
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**VERANDAH EAST & VERANDAH WEST
COMMUNITY DEVELOPMENT DISTRICTS
COMBINED GENERAL FUND BUDGETS
FISCAL YEAR 2025**

	Fiscal Year 2024				Proposed Budget FY 2025
	Adopted Budget FY 2024	Actual through 3/31/2024	Projected through 9/30/2024	Total Actual & Projected	
REVENUES					
Assessment levy: on-roll - gross	\$ 410,543				\$ 410,543
Allowable discounts (4%)	(16,422)				(16,422)
Assessment levy: on-roll - net	394,121	\$ 388,683	\$ 5,438	\$ 394,121	394,121
Assessment levy: off-roll	19,123	9,562	9,561	19,123	19,123
Interest and miscellaneous	600	32	568	600	600
Total revenues	<u>413,844</u>	<u>398,277</u>	<u>15,567</u>	<u>413,844</u>	<u>413,844</u>
EXPENDITURES					
Professional & admin					
Supervisors	7,000	3,600	5,000	8,600	7,000
Management and accounting	124,960	62,480	62,480	124,960	124,960
Audit	14,900	-	14,900	14,900	14,900
Legal	10,000	7,593	2,407	10,000	10,000
Field management	21,163	10,581	10,582	21,163	21,163
Engineering	10,000	8,916	1,084	10,000	10,000
Trustee	10,000	5,375	4,625	10,000	10,000
Dissemination agent	8,280	4,141	4,139	8,280	8,280
Arbitrage rebate calculation	3,000	-	3,000	3,000	3,000
Assessment roll preparation	24,000	12,000	12,000	24,000	24,000
Telephone	775	384	391	775	775
Postage	500	448	52	500	500
Insurance	15,200	15,052	148	15,200	15,200
Printing & binding	1,614	807	807	1,614	1,614
Legal advertising	1,500	-	1,500	1,500	1,500
Office expenses & supplies	250	-	250	250	250
Website	1,410	706	704	1,410	1,410
ADA website compliance	400	-	400	400	400
Contingencies	1,500	650	850	1,500	1,500
Annual district filing fee	350	350	-	350	350
Total professional & admin	<u>256,802</u>	<u>133,083</u>	<u>125,319</u>	<u>258,402</u>	<u>256,802</u>
Water management					
Contractual services	123,000	31,711	91,289	123,000	123,000
Aquascaping/pipe cleanout	5,000	-	5,000	5,000	5,000
Perimeter fence/wall ongoing RM not shared	1,800	-	1,800	1,800	1,800
Utilities	1,300	450	850	1,300	1,300
Contingencies	5,000	-	5,000	5,000	5,000
Total water management	<u>136,100</u>	<u>32,161</u>	<u>103,939</u>	<u>136,100</u>	<u>136,100</u>

**VERANDAH EAST & VERANDAH WEST
COMMUNITY DEVELOPMENT DISTRICTS
COMBINED GENERAL FUND BUDGETS
FISCAL YEAR 2025**

	Fiscal Year 2024			Total Actual & Projected	Proposed Budget FY 2025
	Adopted Budget FY 2024	Actual through 3/31/2024	Projected through 9/30/2024		
Other fees and charges					
Property appraiser	1,740	-	1,740	1,740	1,740
Tax collector	3,202	3,001	201	3,202	3,202
Total other fees and charges	4,942	3,001	1,941	4,942	4,942
Total expenditures	397,844	168,245	231,199	399,444	397,844
 Net increase/(decrease) of fund balance	 16,000	 230,032	 (215,632)	 14,400	 16,000
 Fund balance - beginning (unaudited)	 102,337	 122,866	 352,898	 122,866	 137,266
Fund balance - ending (projected)	<u>\$ 118,337</u>	<u>\$ 352,898</u>	<u>\$ 137,266</u>	<u>\$ 137,266</u>	<u>\$ 153,266</u>

**VERANDAH EAST & VERANDAH WEST
COMMUNITY DEVELOPMENT DISTRICTS
DEFINITIONS OF GENERAL FUND EXPENDITURES**

EXPENDITURES

Supervisors	\$ 7,000
<p>Statutorily set at \$200 for each meeting of the Board of Supervisors not to exceed \$4,800 for each fiscal year. The District anticipates four (4) meetings and all five (5) Board Members receiving fees.</p>	
Management and accounting	124,960
<p>Wrathell, Hunt and Associates, LLC specializes in managing Community Development Districts in the State of Florida by combining the knowledge, skills and experience of a team of professionals to ensure compliance with all governmental requirements of the Districts, develop financing programs, oversee the issuance of tax exempt bonds, and operate and maintain the assets of the community.</p>	
Audit Fees	14,900
<p>The Districts are required to complete annual, independent examinations of their accounting records and procedures. These audits are conducted pursuant to Florida law and the rules of the Florida Auditor General.</p>	
Legal	10,000
<p>The District's attorney provides on-going general counsel and legal representation. He handles issues relating to public finance, public bidding, rulemaking, open meetings, public records, real property dedications, conveyances and contracts.</p>	
Field management	21,163
<p>Wrathell, Hunt & Associates, LLC is responsible for day-to-day field operations. These responsibilities include, but are not limited to, preparing and bidding services, contract administration, hiring and maintaining qualified personnel, preparing operating schedules and policies, ensuring compliance with operating permits, preparing and implementing field operating budgets, providing District-related information to the public and attending board meetings.</p>	
Engineering	10,000
<p>Johnson Engineering provides an array of engineering and consulting services to the Districts, assisting in developing infrastructure and improvement-related solutions for them in addition to advising the Districts on facility maintenance.</p>	
Trustee	10,000
<p>Annual fees paid to U.S. Bank for acting as trustee, paying agent and registrar.</p>	
Dissemination agent	8,280
<p>The Districts must annually disseminate financial information in order to comply with the requirements of Rule 15c2-12 under the Securities & Exchange Act of 1934.</p>	
Arbitrage rebate calculation	3,000
<p>To ensure the Districts' compliance with all tax regulations, annual computations are necessary to calculate arbitrage rebate liability.</p>	
Assessment roll preparation	24,000
<p>The Districts have contracts with AJC Associates, Inc., to prepare the annual assessment rolls.</p>	
Telephone	775
<p>Telephone and fax machine services.</p>	
Postage	500
<p>Mailing of agenda packages, overnight deliveries, correspondence, etc.</p>	
Insurance	15,200
<p>The Districts carry public officials liability and general liability insurance. Each District has a general liability insurance limit of \$1,000,000 (\$2,000,000 general aggregate) and a public officials liability limit of \$1,000,000.</p>	

**VERANDAH EAST & VERANDAH WEST
COMMUNITY DEVELOPMENT DISTRICTS
DEFINITIONS OF GENERAL FUND EXPENDITURES**

EXPENDITURES (continued)	
Printing & binding	1,614
Letterhead, envelopes, copies, etc.	
Legal advertising	1,500
Required advertisements for monthly meetings, special meetings, public hearings, bidding, etc.	
Office expenses & supplies	250
Administrative and accounting supplies.	
Website	1,410
ADA website compliance	400
Contingencies	1,500
Bank charges and miscellaneous expenses incurred throughout the year.	
Annual district filing fee	350
Annual fee paid to the Department of Economic Opportunity.	
Contractual services	123,000
Contracts entered into by the Districts for water management related professional services.	
Aquascaping/pipe cleanout	5,000
Expenses incurred relating to supplemental lake littoral plantings and lake interconnect pipe cleanout.	
Perimeter fence/wall ongoing RM not shared	1,800
Covers the costs of once a year clearing of vegetation on the Verandah East perimeter wall that runs adjacent to the conservation areas.	
Utilities	1,300
Covers the costs of Electricity for CDD aerators.	
Contingencies	5,000
Miscellaneous water management expenses incurred throughout the year.	
Property appraiser	1,740
The property appraiser's fee is \$1.00 per parcel.	
Annual Fee paid to Wachovia Bank for the service provided as Trustee, Paying Agent and Registrar.	
Tax collector	3,202
The tax collector's fee is \$1.50 of assessments collected.	
Total expenditures	<u><u>\$397,844</u></u>

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT
GENERAL FUND BUDGET
FISCAL YEAR 2025**

	Fiscal Year 2024				Proposed Budget FY 2025
	Adopted Budget FY 2024	Actual through 3/31/2024	Projected through 9/30/2024	Total Actual & Projected	
REVENUES					
Assessment levy: on-roll - gross	\$ 206,833				\$ 206,833
Allowable discounts (4%)	(8,273)				(8,273)
Assessment levy: on-roll - net	198,560	\$ 195,721	\$ 2,719	\$ 198,440	198,560
Interest and miscellaneous	263	17	246	263	263
Total revenues	<u>198,823</u>	<u>195,738</u>	<u>2,965</u>	<u>198,703</u>	<u>198,823</u>
EXPENDITURES					
Professional & admin					
Supervisors	3,070	1,584	2,200	3,784	3,070
Management and accounting	54,805	27,402	27,404	54,806	54,805
Audit	6,535	-	6,556	6,556	6,535
Legal	4,386	3,341	1,059	4,400	4,386
Field management	9,282	4,641	4,656	9,297	9,282
Engineering	4,386	3,923	477	4,400	4,386
Trustee	4,386	2,365	2,035	4,400	4,386
Dissemination agent	3,631	1,816	1,821	3,637	3,631
Arbitrage rebate calculation	1,316	-	1,320	1,320	1,316
Assessment roll preparation	10,526	5,263	5,280	10,543	10,526
Telephone	340	167	172	339	340
Postage	219	197	23	220	219
Insurance	6,666	6,623	65	6,688	6,666
Printing & binding	708	354	355	709	708
Legal advertising	658	-	660	660	658
Office expenses & supplies	110	-	110	110	110
Website	618	310	310	620	618
ADA website compliance	175	-	176	176	175
Contingencies	658	341	374	715	658
Annual district filing fee	154	154	-	154	154
Total professional & admin	<u>112,629</u>	<u>58,481</u>	<u>55,053</u>	<u>113,534</u>	<u>112,629</u>
Water management					
Contractual services	53,945	14,271	40,167	54,438	53,945
Aquascaping/pipe cleanout	2,193	-	2,200	2,200	2,193
Perimeter fence/wall ongoing RM <i>not shared</i>	1,800	-	1,800	1,800	1,800
Utilities	570	198	374	572	570
Contingencies	2,193	-	2,200	2,200	2,193
Total water management	<u>60,701</u>	<u>14,469</u>	<u>46,741</u>	<u>61,210</u>	<u>60,701</u>

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT
GENERAL FUND BUDGET
FISCAL YEAR 2025**

	Fiscal Year 2024				Proposed Budget FY 2025
	Adopted Budget FY 2024	Actual through 3/31/2024	Projected through 9/30/2024	Total Actual & Projected	
Other fees and charges					
Property appraiser	804	-	800	800	804
Tax collector	1,479	1,384	92	1,476	1,479
Total other fees and charges	<u>2,283</u>	<u>1,384</u>	<u>892</u>	<u>2,276</u>	<u>2,283</u>
Total expenditures	<u>175,613</u>	<u>74,334</u>	<u>102,686</u>	<u>177,020</u>	<u>175,613</u>
Net increase/(decrease) of fund balance	23,210	121,404	(99,721)	21,683	23,210
Fund balance - beginning (unaudited)	28,480	41,873	163,277	41,873	63,556
Fund balance - ending (projected)	<u>\$ 51,690</u>	<u>\$ 163,277</u>	<u>\$ 63,556</u>	<u>\$ 63,556</u>	<u>\$ 86,766</u>

Assessment Summary				
Description	Units	FY 2024		Total
		Assessment	Proposed Assessment	Revenue
On-roll	757.00	\$ 273.22	\$ 273.22	\$ 206,827.54
Off-roll	0.00	259.65	259.28	0.00
Total units:	<u>757.00</u>		Total revenue:	<u>\$206,827.54</u>

**VERANDAH WEST
COMMUNITY DEVELOPMENT DISTRICT
GENERAL FUND BUDGET
FISCAL YEAR 2025**

	Fiscal Year 2024				Proposed Budget FY 2025
	Adopted Budget FY 2024	Actual through 3/31/2024	Projected through 9/30/2024	Total Actual & Projected	
REVENUES					
Assessment levy: on-roll - gross	\$ 203,709				\$ 203,709
Allowable discounts (4%)	(8,148)				(8,148)
Assessment levy: on-roll - net	195,561	\$ 192,962	\$ 2,719	\$ 195,681	195,561
Assessment levy: off-roll	19,123	9,562	9,561	19,123	19,123
Interest and miscellaneous	337	15	318	333	337
Total revenues	215,021	202,539	12,598	215,137	215,021
EXPENDITURES					
Professional & admin					
Supervisors	3,930	2,016	2,800	4,816	3,930
Management and accounting	70,155	35,078	35,076	70,154	70,155
Audit	8,365	-	8,344	8,344	8,365
Legal	5,614	4,252	1,348	5,600	5,614
Field management	11,881	5,940	5,926	11,866	11,881
Engineering	5,614	4,993	607	5,600	5,614
Trustee	5,614	3,010	2,590	5,600	5,614
Dissemination agent	4,649	2,325	2,318	4,643	4,649
Arbitrage rebate calculation	1,684	-	1,680	1,680	1,684
Assessment roll preparation	13,474	6,737	6,720	13,457	13,474
Telephone	435	217	219	436	435
Postage	281	251	29	280	281
Insurance	8,534	8,429	83	8,512	8,534
Printing & binding	906	453	452	905	906
Legal advertising	842	-	840	840	842
Office expenses & supplies	140	-	140	140	140
Website	792	396	394	790	792
ADA website compliance	225	-	224	224	225
Contingencies	842	309	476	785	842
Annual district filing fee	196	196	-	196	196
Total professional & admin fees	144,173	74,602	70,266	144,868	144,173
Water management					
Contractual services	69,055	17,440	51,122	68,562	69,055
Aquascaping/pipe cleanout	2,807	-	2,800	2,800	2,807
Perimeter fence/wall ongoing RM not shared	-	-	-	-	-
Utilities	730	252	476	728	730
Contingencies	2,807	-	2,800	2,800	2,807
Total water management	75,399	17,692	57,198	74,890	75,399

**VERANDAH WEST
COMMUNITY DEVELOPMENT DISTRICT
GENERAL FUND BUDGET
FISCAL YEAR 2025**

	Fiscal Year 2024				Proposed Budget FY 2025
	Adopted Budget FY 2024	Actual through 3/31/2024	Projected through 9/30/2024	Total Actual & Projected	
Other fees and charges					
Property appraiser	936	-	940	940	936
Tax collector	1,723	1,617	109	1,726	1,723
Total other fees and charges	<u>2,659</u>	<u>1,617</u>	<u>1,049</u>	<u>2,666</u>	<u>2,659</u>
Total expenditures	<u>222,231</u>	<u>93,911</u>	<u>128,513</u>	<u>222,424</u>	<u>222,231</u>
 Net Increase/(decrease) of fund balance	 (7,210)	 108,628	 (115,915)	 (7,287)	 (7,210)
Fund balance - beginning (unaudited)	73,857	80,993	189,621	80,993	73,706
Fund balance - ending (projected)	<u>\$ 66,647</u>	<u>\$ 189,621</u>	<u>\$ 73,706</u>	<u>\$ 73,706</u>	<u>\$ 66,496</u>

Assessment Summary

Description	Units	FY 2023 Assessment	Proposed Assessment	Total Revenue
On-roll	881.63	\$ 231.06	\$ 231.06	\$ 203,709.43
Off-roll	87.40	219.16	218.80	19,123.12
Total units:	<u>969.03</u>		Total revenue:	<u>\$222,832.55</u>

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT
DEBT SERVICE FUND - SERIES 2016 BONDS
FISCAL YEAR 2025**

	Fiscal Year 2024				Proposed Budget FY 2025
	Adopted Budget FY 2024	Actual through 3/31/2024	Projected through 9/30/2024	Total Actual & Projected	
REVENUES					
Assessment levy: on-roll - gross	\$ 1,505,789				\$ 1,505,789
Allowable discounts (4%)	(60,232)				(60,232)
Assessment levy: on-roll - net	1,445,557	\$ 1,414,417	\$ 31,140	\$ 1,445,557	1,445,557
Interest	-	25,999	-	25,999	-
Total revenues	<u>1,445,557</u>	<u>1,440,416</u>	<u>31,140</u>	<u>1,471,556</u>	<u>1,445,557</u>
EXPENDITURES					
Debt service					
Principal	845,000	-	845,000	845,000	875,000
Interest	624,456	312,228	312,228	624,456	592,769
Prepayment	-	5,000	-	5,000	-
Total debt service	<u>1,469,456</u>	<u>317,228</u>	<u>1,157,228</u>	<u>1,474,456</u>	<u>1,467,769</u>
Excess/(deficiency) of revenues over/(under) expenditures	(23,899)	1,123,188	(1,126,088)	(2,900)	(22,212)
Beginning fund balance (unaudited)	857,100	890,478	2,013,666	890,478	887,578
Ending fund balance (projected)	<u>\$ 833,201</u>	<u>\$ 2,013,666</u>	<u>\$ 887,578</u>	<u>\$ 887,578</u>	<u>865,366</u>
Use of fund balance					
Debt service reserve account balance (Required)					(375,000)
Interest expense - November 1, 2025					(279,978)
Projected fund balance surplus/(deficit) as of September 30, 2025					<u>\$ 210,388</u>

Verandah East
Community Development District
Series 2016
\$20,615,000

Debt Service Schedule

Date	Principal	Coupon	Interest	Total P+I
11/01/2024	-	-	296,384.38	296,384.38
05/01/2025	875,000.00	3.750%	296,384.38	1,171,384.38
11/01/2025	-	-	279,978.13	279,978.13
05/01/2026	910,000.00	3.750%	279,978.13	1,189,978.13
11/01/2026	-	-	262,915.63	262,915.63
05/01/2027	945,000.00	4.000%	262,915.63	1,207,915.63
11/01/2027	-	-	244,015.63	244,015.63
05/01/2028	985,000.00	4.000%	244,015.63	1,229,015.63
11/01/2028	-	-	224,315.63	224,315.63
05/01/2029	1,025,000.00	4.000%	224,315.63	1,249,315.63
11/01/2029	-	-	203,815.63	203,815.63
05/01/2030	1,065,000.00	4.000%	203,815.63	1,268,815.63
11/01/2030	-	-	182,515.63	182,515.63
05/01/2031	1,105,000.00	4.000%	182,515.63	1,287,515.63
11/01/2031	-	-	160,415.63	160,415.63
05/01/2032	1,155,000.00	4.125%	160,415.63	1,315,415.63
11/01/2032	-	-	136,593.75	136,593.75
05/01/2033	1,200,000.00	4.125%	136,593.75	1,336,593.75
11/01/2033	-	-	111,843.75	111,843.75
05/01/2034	1,250,000.00	4.125%	111,843.75	1,361,843.75
11/01/2034	-	-	86,062.50	86,062.50
05/01/2035	1,305,000.00	4.250%	86,062.50	1,391,062.50
11/01/2035	-	-	58,331.25	58,331.25
05/01/2036	1,355,000.00	4.250%	58,331.25	1,413,331.25
11/01/2036	-	-	29,537.50	29,537.50
05/01/2037	1,390,000.00	4.250%	29,537.50	1,419,537.50
Total	\$14,565,000.00		\$4,553,450.08	\$19,118,450.08

**VERANDAH WEST
COMMUNITY DEVELOPMENT DISTRICT
DEBT SERVICE FUND - SERIES 2013 BONDS**

	Fiscal Year 2024				Proposed Budget FY 2025
	Adopted Budget FY 2024	Actual through 3/31/2024	Projected through 9/30/2024	Total Actual & Projected	
REVENUES					
Assessment levy: on-roll - gross	\$ 943,991				\$ 943,991
Allowable discounts (4%)	(37,760)				(37,760)
Assessment levy: on-roll - net	906,231	\$ 885,439	\$ 20,792	\$ 906,231	906,231
Assessment levy: off-roll	332,699	-	332,699	332,699	332,699
Interest	-	20,407	-	20,407	-
Total revenues	<u>1,238,930</u>	<u>905,846</u>	<u>353,491</u>	<u>1,259,337</u>	<u>1,238,930</u>
EXPENDITURES					
Debt service					
Principal	755,000	-	755,000	755,000	795,000
Interest	478,000	239,000	239,000	478,000	440,000
Prepayment	-	5,000	-	5,000	-
Total expenditures	<u>1,233,000</u>	<u>244,000</u>	<u>994,000</u>	<u>1,238,000</u>	<u>1,235,000</u>
Excess/(deficiency) of revenues over/(under) expenditures	5,930	661,846	(640,509)	21,337	3,930
Fund balance:					
Beginning fund balance (unaudited)	682,094	770,975	1,432,821	770,975	792,312
Ending fund balance (projected)	<u>\$ 688,024</u>	<u>\$ 1,432,821</u>	<u>\$ 792,312</u>	<u>\$ 792,312</u>	<u>796,242</u>
Use of fund balance					
Debt service reserve account balance (required)					(448,350)
Interest expense - November 1, 2025					(200,125)
Projected fund balance surplus/(deficit) as of September 30, 2025					<u>\$ 147,767</u>

Verandah West

Community Development District

Series 2013

\$15,920,000

Debt Service Schedule

Date	Principal	Coupon	Interest	Total P+I
11/01/2024	-	-	220,000.00	220,000.00
05/01/2025	795,000.00	5.000%	220,000.00	1,015,000.00
11/01/2025	-	-	200,125.00	200,125.00
05/01/2026	835,000.00	5.000%	200,125.00	1,035,125.00
11/01/2026	-	-	179,250.00	179,250.00
05/01/2027	875,000.00	5.000%	179,250.00	1,054,250.00
11/01/2027	-	-	157,375.00	157,375.00
05/01/2028	925,000.00	5.000%	157,375.00	1,082,375.00
11/01/2028	-	-	134,250.00	134,250.00
05/01/2029	970,000.00	5.000%	134,250.00	1,104,250.00
11/01/2029	-	-	110,000.00	110,000.00
05/01/2030	1,020,000.00	5.000%	110,000.00	1,130,000.00
11/01/2030	-	-	84,500.00	84,500.00
05/01/2031	1,070,000.00	5.000%	84,500.00	1,154,500.00
11/01/2031	-	-	57,750.00	57,750.00
05/01/2032	1,125,000.00	5.000%	57,750.00	1,182,750.00
11/01/2032	-	-	29,625.00	29,625.00
05/01/2033	1,185,000.00	5.000%	29,625.00	1,214,625.00
Total	\$8,800,000.00		\$2,345,750.00	\$11,145,750.00

**Verandah East
Community Development District
Projected Assessments
Fiscal Year 2024-2025
2016 Series Bonds**

*****PRELIMINARY*****

**Lee County
12 years remaining**

Neighborhoods	Parcel #	# Units	Bond Designation	Debt Service Assessment	O & M Assessment	Total Assessment	Outstanding Principal after 2024-2025 tax payment
Arlington Oaks	119	31	SF 100-1	\$ 3,755.00	\$ 273.22	\$ 4,028.22	\$ 34,134.35
Brantley Oaks	117	23	SF 100-2	3,500.00	273.22	3,773.22	31,811.61
Whispering Oaks	118	31	SF-100-2	3,500.00	273.22	3,773.22	31,811.61
Torey Pines	127S	26	SF-85-1	2,963.00	273.22	3,236.22	26,914.15
Cedar Hammock	124	38	SF 85-2	2,600.00	273.22	2,873.22	23,631.48
Edgewater Trace	127N	23	SF 75	2,662.85	273.22	2,936.07	24,187.74
Palmetto Grove	120	34	SF 70-2	2,000.00	273.22	2,273.22	18,165.06
Sabal Point	121	29	SF 70-3	1,400.00	273.22	1,673.22	12,724.65
Otter Bend	123	45	Villa 60-1	1,600.00	273.22	1,873.22	14,542.45
Citrus Creek	122	30	Villa 60-2	1,300.00	273.22	1,573.22	11,815.66
Woodhaven	126	72	Villa 60-3	2,000.00	273.22	2,273.22	18,165.06
Willow Bend	128	26	SF 50	1,616.00	273.22	1,889.22	14,693.18
Ambleswind Cove	132	54	SF 50	1,616.00	273.22	1,889.22	14,693.18
Heritage Preserve	131	108	SF 50	1,616.00	273.22	1,889.22	14,693.18
Magnolia Pointe	129/130	51	SF 50	1,616.00	273.22	1,889.22	14,693.18
Willow Ridge	132	43	SF 50	1,616.00	273.22	1,889.22	14,693.18
Fairway Cove	125	93	SF 50	1,616.00	273.22	1,889.22	14,693.18

757

Fiscal Year 2023 - 2024 assessments:							
			SF 100-1	\$ 3,755.00	\$ 273.22	\$ 4,028.22	\$ 36,316.06
			SF 100-2	3,500.00	273.22	3,773.22	33,844.86
			SF 85-1	2,963.00	273.22	3,236.22	28,634.37
			SF 85-2	2,600.00	273.22	2,873.22	25,141.89
			SF 75	2,662.85	273.22	2,936.07	25,733.71
			SF 70-2	2,000.00	273.22	2,273.22	19,326.08
			SF 70-3	1,400.00	273.22	1,673.22	13,537.95
			Villa 60-1	1,600.00	273.22	1,873.22	15,471.93
			Villa 60-2	1,300.00	273.22	1,573.22	12,570.86
			Villa 60-3	2,000.00	273.22	2,273.22	19,326.08
			SF 50	1,616.00	273.22	1,889.22	15,632.30

**Verandah West
Community Development District
Projected Assessments
Fiscal Year 2024-2025
2013 Series**

*****PRELIMINARY*****

**Lee County
8 years remaining**

Neighborhoods	Bond Designation	Debt Service Assessment	O & M Assessment	Total Assessment	Outstanding Principal after 2024-2025 tax payment
Hammock Creek	River Village	\$ 2,245.81	\$ 231.06	\$ 2,476.87	\$ 13,888.61
Oak Bend	River Village	2,245.81	231.06	2,476.87	13,888.61
Sanctuary Pointe	Custom SF 100	2,245.81	231.06	2,476.87	13,888.61
Shadetree Pointe	Custom SF 100	2,245.81	231.06	2,476.87	13,888.61
Mossy Oak	Custom SF 100	2,245.81	231.06	2,476.87	13,888.61
Cypress Marsh	Custom SF 85	1,641.22	231.06	1,872.28	10,149.69
River Point	Custom SF 85	1,641.22	231.06	1,872.28	10,149.69
Winding River West	Production 70-1 (NO BUYDOWN)	1,628.14	231.06	1,859.20	10,456.07
Shady Bend	Production 70-2	1,122.91	231.06	1,353.97	6,944.30
Royal Palm (Lots 1-11, 22-25)	Single Family 65	1,042.70	231.06	1,273.76	6,448.28
Royal Palm (Lots 12-21)	Single Family 50	777.43	231.06	1,008.49	4,807.78
Orange Tree Bend	SF 60/Villa 55	950.17	231.06	1,181.23	5,876.03
Bramble Cove	Villa 50	777.43	231.06	1,008.49	4,807.78
Lakeview	Villa 50	777.43	231.06	1,008.49	4,807.78
Preserves Edge	Villa 50	777.43	231.06	1,008.49	4,807.78
Idlewild	Coach Home - L	580.46	231.06	811.52	3,589.67
Pebblebrook	Coach Home - L	580.46	231.06	811.52	3,589.67
Cottonwood Bend	Town Homes	518.32	231.06	749.38	3,205.37

Fiscal year 2023 - 2024 assessments:	River Village	\$ 2,245.81	\$ 231.06	\$ 2,476.87	\$ 15,267.93
	Custom SF 100	2,245.81	231.06	2,476.87	15,267.93
	Custom SF 85	1,641.22	231.06	1,872.28	11,157.68
	Production 70-1	1,628.14	231.06	1,859.20	11,494.49
	Production 70-2	1,122.91	231.06	1,353.97	7,633.96
	Single Family 65	1,042.70	231.06	1,273.76	7,088.68
	Single Family 50	777.43	231.06	1,008.49	5,285.25
	SF 60/Villa 55	950.17	231.06	1,181.23	6,459.60
	Villa 50	777.43	231.06	1,008.49	5,285.25
	Coach Home - L	580.46	231.06	811.52	3,946.17
	Town Homes	518.32	231.06	749.38	3,523.71

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT**

8

RESOLUTION 2024-03

A RESOLUTION OF THE VERANDAH EAST COMMUNITY DEVELOPMENT DISTRICT DESIGNATING DATES, TIMES AND LOCATIONS FOR REGULAR MEETINGS OF THE BOARD OF SUPERVISORS OF THE DISTRICT FOR FISCAL YEAR 2024/2025 AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, the Verandah East Community Development District (“District”) is a local unit of special-purpose government created by, and existing pursuant to Chapter 190, *Florida Statutes*, being situated entirely within Lee County, Florida; and

WHEREAS, the Board of Supervisors of the District (“Board”) is statutorily authorized to exercise the powers granted to the District; and

WHEREAS, all meetings of the Board shall be open to the public and governed by the provisions of Chapter 286, *Florida Statutes*; and

WHEREAS, the Board is statutorily required to file annually, with the local governing authority and the Florida Department of Economic Opportunity, a schedule of its regular meetings.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE VERANDAH EAST COMMUNITY DEVELOPMENT DISTRICT:

SECTION 1. ADOPTING REGULAR MEETING SCHEDULE. Regular meetings of the District’s Board shall be held during Fiscal Year 2024/2025 as provided on the schedule attached hereto as **Exhibit A**.

SECTION 2. FILING REQUIREMENT. In accordance with Section 189.015(1), *Florida Statutes*, the District’s Secretary is hereby directed to file a schedule of the District’s regular meetings annually with Lee County and the Florida Department of Economic Opportunity.

SECTION 3. EFFECTIVE DATE. This Resolution shall take effect immediately upon adoption.

PASSED AND ADOPTED this 8th day of May, 2024.

Attest:

**VERANDAH EAST COMMUNITY
DEVELOPMENT DISTRICT**

Secretary/Assistant Secretary

Chair/Vice Chair, Board of Supervisors

Exhibit A

VERANDAH EAST COMMUNITY DEVELOPMENT DISTRICT		
BOARD OF SUPERVISORS FISCAL YEAR 2024/2025 MEETING SCHEDULE		
LOCATION		
<i>11390 Palm Beach Blvd., First Floor, Fort Myers, Florida 33905</i>		
DATE	POTENTIAL DISCUSSION/FOCUS	TIME
October 9, 2024	Regular Meeting	1:00 PM
January 8, 2025	Regular Meeting	1:00 PM
May 14, 2025	Regular Meeting	1:00 PM
August 13, 2025	Public Hearing & Regular Meeting	1:00 PM

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT**

9



March 3, 2014

Linda Schindeler, Regulatory Specialist 1
South Florida Water Management District
3301 Gun Club Road
West Palm Beach, FL 33406

Re: June 14, 2013 Insufficient Documentation – Permit Transfer
Verandah, Permit No. 36-04314

Dear Ms. Schindeler;

The Board of Supervisors for both Verandah East and Verandah West Community Development Districts (VECDD and VWCDD) have directed staff, which is the same District Manager, District Counsel, and District Engineer, to prepare responses for Boards approval for both Items #1 and #2 of the June 14, 2013 letters to Verandah East and Verandah West Community Development Districts.

Item #1 (Verandah East and West) – Legal access to LaBelle ranch mitigation area in Hendry County

The attached Conservation Area Maintenance Agreement authorizes the VECDD, VWCDD, and their respective agents or assigns to access and perform maintenance as the Permit requires for the 320 acre off-site mitigation area located in Hendry County and recorded by Instrument #200610889, Book 738, Pages 1048-1053. The obligations and costs of perpetual management of this mitigation area will be shared between VECDD and VWCDD.

Item #2 (Verandah West) – Application 040526-18, works within both VECDD and VWCDD, co-permittees

VECDD and VWCDD in fact share the costs to maintain the overall master stormwater system within Verandah. As such they have been unofficial co-permittees and are certainly willing to add Application 040526-25 to the conversion/transfer list and to operate as co-permittees.

Item #2 (Verandah East) – Application No. 121207-9 added to conversion/transfer request application

VECDD agrees this application should be added to the application for conversion/transfer.

Please contact me with any questions.

Sincerely,

JOHNSON ENGINEERING, INC.

David Robson, P.E.

District Engineer, VECDD and VWCDD

cc: Chuck Adams, District Manager

Prepared by and Return to:
Jonathan T. Johnson, Esq.
HOPPING GREEN & SAMS, P.A.
119 South Monroe Street, Suite 300
Tallahassee, Florida 32301

CONSERVATION AREA MAINTENANCE AGREEMENT

THIS CONSERVATION AREA MAINTENANCE AGREEMENT (“Agreement”) is made this 28 day of February, 2014 by **VERANDAH EAST COMMUNITY DEVELOPMENT DISTRICT**, a local unit of special-purpose government established pursuant to Chapter 190, Florida Statutes, whose address is 6131 Lyons Road, Suite 100, Coconut Creek, Florida 33073 (**“Verandah East”**), **VERANDAH WEST COMMUNITY DEVELOPMENT DISTRICT**, a local unit of special-purpose government established pursuant to Chapter 190, Florida Statutes, whose address is 6131 Lyons Road, Suite 100, Coconut Creek, Florida 33073 (**“Verandah West,”** or collectively with Verandah East referenced herein as **“Districts”**), and **HERITAGE WILLOW LLC**, a Florida limited liability company, whose address is 701 S. Olive Avenue, Suite 104, West Palm Beach, Florida 33401 (**“Heritage Willow”**) (Districts and Heritage Willow are sometimes together referred to herein as the **“Parties,”** and separately as the **“Party”**).

WITNESSETH:

WHEREAS, the Districts were established pursuant to Chapter 190, *Florida Statutes*, as amended (the **“Act”**), and are validly existing under the Constitution and laws of the State of Florida; and

WHEREAS, the Act authorizes the Districts to finance, fund, plan, establish, acquire, construct or reconstruct, enlarge or extend, equip, operate, and maintain certain systems, facilities, and basic infrastructure and other infrastructure improvements within or without the boundaries of the Districts; and

WHEREAS, Heritage Willow is the owner in fee simple of certain real property located in Hendry County, Florida, including certain parcels of land more particularly described in **Exhibit A** attached hereto and incorporated herein by this reference; and

WHEREAS, the lands described in **Exhibit A** are referred to herein as the **“Easement Area,”** and are comprised of certain conservation lands subject to Permit No. 36-04314-P Application No. 001027-4 (**“Permit”**) of the South Florida Water Management District (**“SFWMD”**); and

WHEREAS, Verandah Development, LLC, the construction phase permittee of the Permit (**“Permittee”**), developed a Perpetual Management Plan (**“Plan”**) in December 2008 for the perpetual management of the Easement Area to comply with the terms of the Permit; and

WHEREAS, Permittee has filed an application with SFWMD to convert and transfer the Permit from Permittee to Verandah West as the operation phase operating entity; and

WHEREAS, upon conversion and transfer of the Permit, Verandah West will be required to fulfill the obligations of the Plan in compliance with the Permit; and

WHEREAS, Verandah West and Verandah East plan to jointly and cooperatively share the obligations and costs of the perpetual management required by the Permit; and

WHEREAS, SFWMD has requested Verandah West provide documentation that Verandah West has legal access to the Easement Area for purposes of perpetual management under the Plan; and

WHEREAS, the Districts have requested that Heritage Willow grant to the Districts a maintenance easement over the Easement Area in order to allow the Districts to conduct maintenance within the Easement Area as part of the Plan (the “**Improvements**”), and Heritage Willow is agreeable to granting such easement on the terms and conditions set forth herein;

NOW, THEREFORE, in consideration of the sum of Ten and 00/100 Dollars (\$10.00) and other good and valuable consideration and the mutual covenants of the Parties, the receipt and sufficiency of which are hereby acknowledged, the Parties hereby agree as follows:

1. **Recitals.** The foregoing recitals are true and correct and by this reference are incorporated as a material part of this Agreement.

2. **Easement.** Heritage Willow hereby grants to the Districts, and their respective employees, agents, assignees, contractors (or their subcontractors, employees or materialmen), or representatives, a non-exclusive maintenance easement over, upon, under, through, and across the Easement Area for ingress and egress and the installation and maintenance of the Improvements (“**Easement**”). The Districts shall use all due care to protect the Easement Area from damage resulting from the Districts’ use of the Easement Area. In no event shall the Districts use the Easement for the storage of construction materials, vehicles, supplies, tools and equipment, or the erection of temporary construction buildings, storage sheds and shelters.

3. **Damage.** In the event that the Districts, their respective employees, agents, assignees, contractors (or their subcontractors, employees or materialmen), or representatives cause damage to the Easement Area in the exercise of the easement rights granted herein, the Districts, at Districts’ sole cost and expense, agree to promptly commence and diligently pursue the restoration of the same and the improvements so damaged to, as nearly as practical, the original condition and grade.

4. **Indemnity.** Subject to the Districts’ sovereign immunity protections as described in this Agreement, the Districts shall indemnify and hold harmless Heritage Willow, and its successors, assigns, agents, employees, staff, contractors, officers, supervisors, and representatives (together, “**Indemnitees**”), from any and all liability, loss, damage, or harm of any kind, whether monetary or otherwise, including but not limited to reasonable attorneys’ fees and costs and all fees and costs of mediation or alternative dispute resolution, as a result of any claims, liabilities, suits, liens, demands, costs, interest, expenses, damages, penalties, fines, or

judgments, against Indemnitees which relate in any way to this Agreement or the exercise of the rights or obligations contemplated hereunder.

5. **Liens.** The Districts shall not permit (and shall promptly satisfy or bond) any construction, mechanic's lien or encumbrance against the Easement Area or other Heritage Willow property in connection with the exercise of their rights hereunder.

6. **Exercise of Rights.** The rights and Easement created by this Agreement are subject to the following provisions:

(a) The Districts shall conduct any installation and maintenance activities in a sound, professional manner and shall have sole responsibility for obtaining any necessary permits or regulatory approvals for the Improvements installation. Any rights granted hereunder shall be exercised by the Districts in accordance and compliance with any and all applicable laws, ordinances, rules, regulations, permits and approvals (including the Permits), and any future modifications or amendments thereto. The Districts shall not discharge into or within the Easement Area any hazardous or toxic materials or substances, any pollutants, or any other substances or materials prohibited or regulated under any federal, state or local law, ordinance, rule, regulation or permit, except in accordance with such laws, ordinances, rules, regulations and permits.

(b) Nothing herein shall be construed to limit in any way Heritage Willow's rights to (i) construct and maintain in the Easement Area any structures or other improvements that do not materially interfere with the use or enjoyment of the Easement granted herein for the purposes for which they are created as contemplated herein, or (ii) to use the Easement Area, or allow the use of the Easement Area by others, in common with the Districts, their successors and assigns; provided, however, that Heritage Willow shall not take any action inconsistent with the requirements of the Permits.

(c) The Districts and Heritage Willow acknowledge that Heritage Willow has no ownership interest in any of the Improvements that will be installed in the Easement Area, and the Districts shall retain ownership of the Improvements, and maintenance responsibilities for the Improvements, unless the Districts convey such Improvements by an effective written instrument.

7. **Default.** A default by Heritage Willow or the Districts under this Agreement shall entitle the other to all remedies available at law or in equity, which may include, but not be limited to, the right of actual damages, injunctive relief, and specific performance.

8. **Enforcement of Agreement.** In the event that Heritage Willow or the Districts seek to enforce this Agreement by court proceedings or otherwise, then the prevailing party shall be entitled to recover all fees and costs incurred, including reasonable attorneys' fees and costs for trial, alternative dispute resolution, or appellate proceedings.

9. **Sovereign Immunity.** Heritage Willow agrees that nothing in this Agreement shall constitute or be construed as a waiver of the Districts' sovereign immunity protections and limitations on liability contained in Section 768.28, Florida Statutes, or other statutes or law.

10. Notices. Any notice, demand, consent, authorization, request, approval, or other communication that any Party is required, or may desire, to give to or make upon another Party pursuant to this Agreement shall be effective and valid only if in writing and delivered personally to the other Parties or sent by express 24-hour guaranteed courier or delivery service or by certified mail of the United States Postal Service, postage prepaid and return receipt requested, addressed to the other Party as follows (or to such other place as any Party may by notice to the others specify):

To the Districts: Verandah East Community Development District
Verandah West Community Development District
6131 Lyons Road, Suite 100
Coconut Creek, Florida 33073
Attn: District Manager

With a copy to: Hopping Green & Sams, P.A.
119 S. Monroe Street, Suite 300
Tallahassee, FL 32301
Attn: District Counsel

To Heritage Willow: The Kolter Group, LLC
701 S. Olive Avenue, Suite 104
West Palm Beach, FL 33401
Attn: Paul Martin

Notice shall be deemed given when received, except that if delivery is not accepted, notice shall be deemed given on the date of such non-acceptance. Notices delivered after 5:00 p.m. (at the place of delivery) or on a non-business day, shall be deemed received on the next business day. If any time for giving notice would otherwise expire on a non-business day, the notice period shall be extended to the next succeeding business day. Saturdays, Sundays, and legal holidays recognized by the United States government shall not be regarded as business days. Counsel for Heritage Willow and counsel(s) for the Districts may deliver Notice on behalf of Heritage Willow and the Districts, respectively.

11. Third Parties. This Agreement is solely for the benefit of Heritage Willow and the Districts, and no right or cause of action shall accrue upon or by reason, to or for the benefit of any third party not a formal party to this Agreement. Nothing in this Agreement expressed or implied is intended or shall be construed to confer upon any person, corporation, or entity other than Heritage Willow and the Districts any right, remedy, or claim under or by reason of this Agreement or any of the provisions or conditions of this Agreement. Each Party shall be solely responsible for enforcing its rights under this Agreement against any interfering third party. Nothing contained in this Agreement shall limit or impair either Party's right to protect its rights from interference by a third party.

12. Controlling Law and Venue. This Agreement shall be construed, interpreted, and controlled according to the laws of the State of Florida. The Parties agree and consent to

venue in Hendry County, Florida, for the resolution of any dispute, whether brought in or out of court, arising out of this Agreement.

13. **Public Records.** All documents of any kind provided in connection with this Agreement are public records and are treated as such in accordance with Florida law.

14. **Severability.** The invalidity or unenforceability of any one or more provisions or part of a provision of this Agreement shall not affect the validity or enforceability of the remaining provisions of this Agreement or any part of this Agreement not held to be invalid or unenforceable.

15. **Binding Effect.** This Agreement and all of the provisions, representations, covenants, and conditions contained herein shall run with the title to the Easement Area and shall bind and/or benefit the owners thereof, and their respective successors, assigns, tenants, agents, employees, invitees and licensees.

16. **Authorization.** By execution below, the undersigned represent that they have been duly authorized by the appropriate body or official of their respective entity to execute this Agreement, that the respective Parties have complied with all the requirements of law, and they have full power and authority to comply with the terms and provisions of this instrument.

17. **Amendments.** Amendments to and waivers of the provisions contained in this Agreement may be made only by an instrument in writing which is executed by both Heritage Willow and the Districts.

18. **Entire Agreement.** This instrument shall constitute the final and complete expression of the agreement between the Parties relating to the subject matter of this Agreement.

19. **Non-Waiver.** Any delay of either Party in enforcing its rights or remedies under this Agreement shall not waive, affect, diminish, suspend or exhaust any such right or remedy. No act or omission, or series of acts or omissions, by a Party as to any failure of the other to perform this Agreement shall be deemed to be a waiver by such Party of the right at all times to insist upon full and complete performance in accordance with this Agreement.

20. **Headings for Convenience Only.** The descriptive headings in this Agreement are for convenience only and shall not control nor affect the meaning or construction of any of the provisions of this Agreement.

21. **Arm's Length Transaction.** This Agreement has been negotiated fully between the Districts and Heritage Willow as an arm's length transaction. All Parties participated fully in the preparation of this Agreement and received the advice of counsel. In the case of a dispute concerning the interpretation of any provision of this Agreement, all Parties are deemed to have drafted, chosen, and selected the language, and the doubtful language will not be interpreted or construed against any Party hereto.

22. **Effective Date.** This Agreement shall be effective as of the date first written above.

23. **Counterparts.** This Agreement may be executed in counterparts, each of which shall constitute an original, but all taken together shall constitute one and the same agreement.

[REMAINDER OF PAGE LEFT INTENTIONALLY BLANK]

IN WITNESS WHEREOF, Heritage Willow and the Districts caused this Agreement to be executed, to be effective as of the day and year first written above.

WITNESSES:

Signed, sealed and delivered
in the presence of:

Verandah East Community
Development District

[Signature]
Print Name: Corinne Oliver

By: [Signature]
Chairperson/Vice Chairperson

[Signature]
Print Name: Cindy Kay Martel

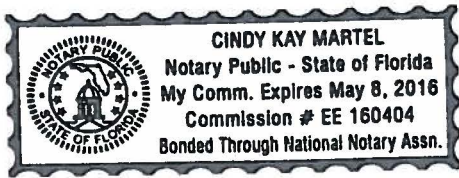
STATE OF FLORIDA
COUNTY OF Lee

The foregoing instrument was acknowledged before me this 13th day of February, 2014, by the Chairperson/Vice Chairperson of the Verandah East Community Development District, on behalf of the District. He/She is personally known to me or has produced _____ as identification.

[Signature]
(Signature of Notary Public)

Cindy Kay Martel
(Typed name of Notary Public)


Notary Public, State of Florida
Commission No.: EE 160404
My Commission Expires: May 8, 2016



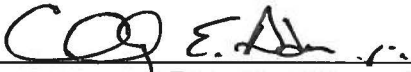
WITNESSES:

Signed, sealed and delivered
in the presence of:

**Verandah West Community
Development District**

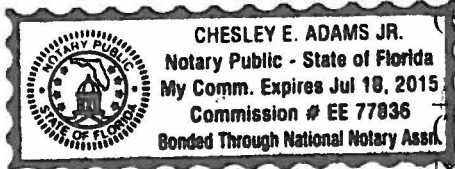

Print Name: Cleo CRISMON

By: 
Chairperson/Vice Chairperson


Print Name: CHESLEY E. ADAMS Jr.

STATE OF FLORIDA
COUNTY OF LEE

The foregoing instrument was acknowledged before me this 28 day of FEBRUARY, 2014, by the Chairperson/Vice Chairperson of the Verandah West Community Development District, on behalf of the District. He/She is personally known to me or has produced _____ as identification.




(Signature of Notary Public)

(Typed name of Notary Public)
Notary Public, State of Florida
Commission No.: _____
My Commission Expires: _____

Signed, sealed and delivered
in the presence of:

**Heritage Willow LLC, a Florida
limited liability company**

[Handwritten signature]

Print Name: Corinne Oliver

[Handwritten signature]

Print Name: Cindy Kay Martel

By: *[Handwritten signature]*

Print Name: Paul Martin
Authorized signatory

STATE OF FLORIDA
COUNTY OF LEE

The foregoing instrument was acknowledged before me this 13th day of February, 2014,
by Paul Martin of Heritage Willow LLC, on behalf of said limited liability company.
He/She is personally known to me or has produced _____
as identification.

[Handwritten signature]
(Signature of Notary Public)

Cindy Kay Martel
(Typed name of Notary Public)
Notary Public, State of Florida
Commission No.: EE 160404
My Commission Expires: May 8, 2016



EXHIBIT A
LEGAL DESCRIPTION FOR EASEMENT AREA

Those lands identified as a Parcel in Sections 5 & 6, Township 44 South, Range 30 East, Hendry County Florida, in that certain Deed of Conservation Easement recorded as Instrument #200610889, Book 738, Pages 1048-1053 in the Official Records of Hendry County, Florida, and otherwise described herein.

VERANDAH EAST & WEST PANTHER MITIGATION LAND TOUR 1/29/24

LOCATION:

320 ACRES IN LABELLE RANCH
MITIGATION AREA

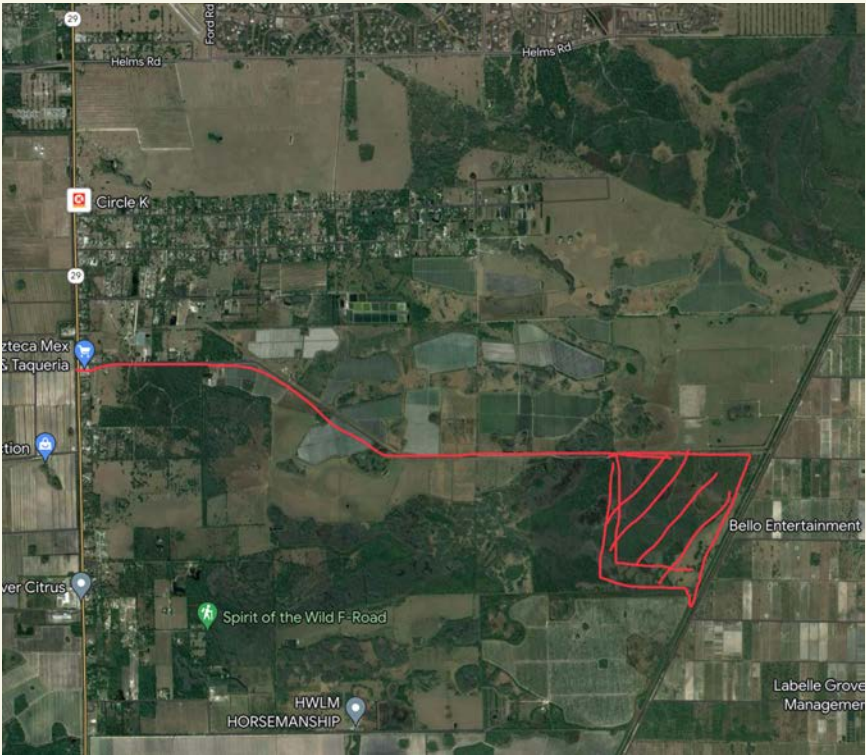
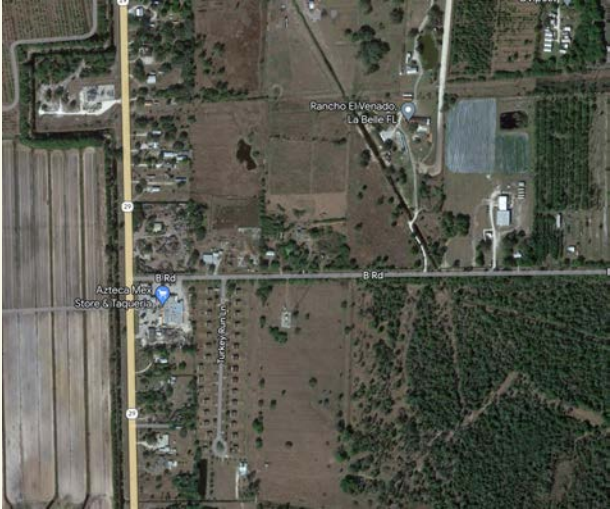
ATTENDEES:

DISTRICT MANAGER - CLEO ADAMS
OPERATIONS MANAGER - SHANE WILLIS
CROSSCREEK ENVIRONMENTAL - ISAAC
AREVALO

FINDINGS:

- * NO SIGNIFICANT INVASIVES
- * CATTLE PRESENT ON PROPERTY
- * EVIDENCE OF RECENT CONTROLLED
BURN
- * NO UNAUTHORIZED STRUCTURES OR
ACTIVITIES PRESENT

ENTRY TO PANTHER MITIGATION PROPERTY IS OFF SR29 & B ROAD



TAKE A RIGHT AT THE BULL





FLORIDA PANTHER
CONSERVATION

NO
TRESPASSING
FISHING
HUNTING

VIOLATORS WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW



































**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT**

**UNAUDITED
FINANCIAL
STATEMENTS**

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT
FINANCIAL STATEMENTS
UNAUDITED
MARCH 31, 2024**

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT
BALANCE SHEET
GOVERNMENTAL FUNDS
MARCH 31, 2024**

	Major Funds		Total Governmental Funds
	General	Debt Service Series 2016	
ASSETS			
Cash (SunTrust)	\$ 215,359	\$ -	\$ 215,359
Investments			
Revenue account	-	1,584,132	1,584,132
Reserve account	-	375,000	375,000
Prepayment account	-	18	18
Principal account	-	308	308
Redemption	-	3	3
Due from other governments	3,971		3,971
Due from general fund	-	54,205	54,205
Deposits	45	-	45
Total assets	\$ 219,375	\$ 2,013,666	\$ 2,233,041
LIABILITIES AND FUND BALANCES			
Liabilities:			
Accounts payable	\$ -	\$ -	\$ -
Due to debt service fund	54,205	-	54,205
Due to Verandah West	1,893	-	1,893
Total liabilities	56,098	-	56,098
Fund balances:			
Restricted for:			
Debt service	-	2,013,666	2,013,666
Unassigned	163,277	-	163,277
Total fund balances	163,277	2,013,666	2,176,943
 Total liabilities and fund balances	 \$ 219,375	 \$ 2,013,666	 \$ 2,233,041

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT
STATEMENT OF REVENUES, EXPENDITURES,
AND CHANGES IN FUND BALANCES
GENERAL FUND 001
FOR THE PERIOD ENDED MARCH 31, 2024**

	Current Month	Year to Date	Budget	% of Budget
REVENUE				
Special assessment: on-roll	\$ 4,213	\$ 195,721	\$ 198,560	99%
Interest & miscellaneous	2	17	263	6%
Total revenue	<u>4,215</u>	<u>195,738</u>	<u>198,823</u>	98%
EXPENDITURE				
Professional and administrative				
Supervisors	-	1,584	3,070	52%
Management and accounting	4,567	27,402	54,805	50%
Audit	-	-	6,535	0%
Legal	2,142	3,341	4,386	76%
Field management	773	4,641	9,282	50%
Engineering	1,813	3,923	4,386	89%
Trustee	-	2,365	4,386	54%
Dissemination agent	303	1,816	3,631	50%
Arbitrage	-	-	1,316	0%
Assessment roll preparation	877	5,263	10,526	50%
Telephone	28	167	340	49%
Postage	10	197	219	90%
Insurance	-	6,623	6,666	99%
Printing & binding	59	354	708	50%
Legal advertising	-	-	658	0%
Office expenses and supplies	-	-	110	0%
Website	-	310	618	50%
Contingencies	67	341	658	52%
ADA website compliance	-	-	175	0%
Annual district filing fee	-	154	154	100%
Total professional & admin expenses	<u>10,639</u>	<u>58,481</u>	<u>112,629</u>	52%
Water management				
Contractual services	-	14,271	53,945	26%
Utilities	38	198	570	35%
Total water management	<u>38</u>	<u>14,469</u>	<u>60,701</u>	24%

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT
STATEMENT OF REVENUES, EXPENDITURES,
AND CHANGES IN FUND BALANCES
GENERAL FUND 001
FOR THE PERIOD ENDED MARCH 31, 2024**

	<u>Current Month</u>	<u>Year to Date</u>	<u>Budget</u>	<u>% of Budget</u>
Other fees and charges				
Property appraiser	-	-	804	0%
Tax collector	-	1,384	1,479	94%
Total other fees & charges	-	1,384	2,283	61%
Total expenditures	<u>10,677</u>	<u>74,334</u>	<u>175,613</u>	42%
 Excess/(deficiency) of revenues over/(under) expenditures	 (6,462)	 121,404	 23,210	
 Fund balances - beginning	 <u>169,739</u>	 <u>41,873</u>	 <u>28,480</u>	
Fund balances - ending	<u><u>\$ 163,277</u></u>	<u><u>\$ 163,277</u></u>	<u><u>\$ 51,690</u></u>	

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT
STATEMENT OF REVENUES, EXPENDITURES,
AND CHANGES IN FUND BALANCES
DEBT SERVICE FUND 201 - SERIES 2016
FOR THE PERIOD ENDED MARCH 31, 2024**

	<u>Current Month</u>	<u>Year to Date</u>	<u>Budget</u>	<u>% of Budget</u>
REVENUES				
Special assessment: on-roll	\$ 30,665	\$ 1,414,417	\$ 1,445,557	98%
Interest	7,312	25,999	-	N/A
Total revenues	<u>37,977</u>	<u>1,440,416</u>	<u>1,445,557</u>	100%
EXPENDITURES				
Debt service				
Principal	-	-	845,000	0%
Principal prepayments	-	5,000	-	N/A
Interest	-	312,228	624,456	50%
Total expenditures	<u>-</u>	<u>317,228</u>	<u>1,469,456</u>	22%
Excess/(deficiency) of revenues over/(under) expenditures	37,977	1,123,188	(23,899)	
Fund balances - beginning	1,975,689	890,478	857,100	
Fund balances - ending	<u>\$ 2,013,666</u>	<u>\$ 2,013,666</u>	<u>\$ 833,201</u>	

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT**

MINUTES

DRAFT
MINUTES OF MEETING
VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT

The Board of Supervisors of the Verandah East Community Development District held a Regular Meeting on January 10, 2024 at 1:00 p.m., at 11390 Palm Beach Blvd., First Floor, Fort Myers, Florida 33905.

Present were:

David Moore	Chair
Richard (Denny) Shields, Jr.	Vice Chair
Christine Jaross	Assistant Secretary
John Sample	Assistant Secretary
Jacqueline Voiles	Assistant Secretary

Also present:

Chuck Adams (via telephone)	District Manager
Cleo Adams	District Manager
Shane Willis	Operations Manager
Alyssa Willson (via telephone)	District Counsel
Brent Burford (via telephone)	District Engineer
Susan Shields	Resident/VCA Board Member

FIRST ORDER OF BUSINESS

Call to Order/Roll Call

Mr. Moore called the meeting to order at 1:00 p.m. All Supervisors were present.

SECOND ORDER OF BUSINESS

Public Comments (3 minutes per person)

No members of the public spoke.

THIRD ORDER OF BUSINESS

Consideration of Resolution 2024-01, Implementing Section 190.006(3), Florida Statutes, and Requesting That the Lee County Supervisor of Elections Begin Conducting the District's General Elections; Providing for Compensation; Setting Forth the Terms of Office; Authorizing Notice of the Qualifying Period; and Providing for Severability and an Effective Date

43 Mrs. Adams presented Resolution 2024-01. Seats 3, 4 and 5, currently held by
44 Jacqueline Voiles, Christine Jaross and David Moore, respectively, will be up for election at the
45 November 2024 General Election. Candidates must be a citizen of the United States, at least 18
46 years of age, a legal resident of Florida, reside within the CDD and be a registered voter in Lee
47 County. The candidate qualifying period is noon, June 10, 2024 to noon, June 14, 2024.

48 Mr. Moore noted that the Form 1 must be submitted and asked if the ethics training is
49 required for the General Election. Ms. Willson stated it is not; Supervisors have until December
50 31, 2024 to complete the requirement and will check a box on Form 1 when filing it in mid-2025
51 to indicate their completion of the ethics training.

52

53 **On MOTION by Mr. Shields and seconded by Mr. Moore, with all in favor,**
54 **Resolution 2024-01, Implementing Section 190.006(3), Florida Statutes, and**
55 **Requesting That the Lee County Supervisor of Elections Begin Conducting the**
56 **District’s General Elections; Providing for Compensation; Setting Forth the**
57 **Terms of Office; Authorizing Notice of the Qualifying Period; and Providing for**
58 **Severability and an Effective Date, was adopted.**

59

60

61 **FOURTH ORDER OF BUSINESS**

**Acceptance of Unaudited Financial
Statements as of November 30, 2023**

62

63

64 Mrs. Adams presented the Unaudited Financial Statements as of November 30, 2023.

65 The financials were accepted.

66

67 **FIFTH ORDER OF BUSINESS**

**Approval of October 11, 2023 Regular
Meeting Minutes**

68

69

70 Mrs. Adams presented the October 11, 2023 Regular Meeting Minutes.

71 The following changes were made:

72 Line 14: Delete “(via telephone)”

73 Line 27: Add “, Voiles” after “Shields”

74 Line 28: Change “Supervisors Voiles and” to “Supervisor”

75 Line 70: Change “Jaross” to “Voiles”

76

77 **On MOTION by Mr. Shields and seconded by Ms. Voiles, with all in favor, the**
78 **October 11, 2023 Regular Meeting Minutes, as amended, were approved.**

79

80

81 **SIXTH ORDER OF BUSINESS****Staff Reports**

82

83 **A. District Counsel: Kutak Rock LLP**84 **• Required Ethics Training**

85 Ms. Willson presented a Memorandum explaining the ethics training requirements, the
86 online version of which contains links to free courses provided by the Florida Commission on
87 Ethics (COE). The requirement must be met by December 31, 2024; completion will be reported
88 by checking a box on Form 1 when filing it in 2025.

89 Mr. Moore asked if a Supervisor, who decides not to run, must certify anything when
90 filing their final Form 1. Ms. Willson stated she find out and advise the Board.

91 Mr. Sample noted that some courses are 50 or 58 minutes and asked if there is provision
92 that an hour of ethics training is defined as 50 minutes or greater. Ms. Willson replied
93 affirmatively; the COE issued an opinion that such courses satisfy the one-hour requirement.

94 Ms. Voiles recalled that Form 1 is due to be submitted in July. Ms. Willson stated that
95 completion of the coursework will be indicated when filing the Form 1.

96 Mrs. Adams asked if a brief discussion of the LaBelle Ranch Mitigation Area in Hendry
97 County is in order.

98 Ms. Willson stated Staff is reviewing the underlying requirements, which predate most
99 of her firm's involvement with the CDD. Staff is working with the District Engineer, as it appears
100 there are some mitigation requirements associated with the initial bond financing. Staff is
101 working to determine if that is the case and, if so, exactly what the requirements are.

102 Mrs. Adams noted that the documents date back to before 2000; the property was
103 purchased for cattle and the CDD has not had to perform any work there in years.

104 Mr. Adams stated that the South Florida Water Management District (SFWMD) will
105 mostly be interested in vegetation management, similar to work done in conservation areas for
106 exotics and invasives. Because cattle have been on the property, vegetation has not been an
107 issue because cattle will eat exotics as well as native vegetation.

108 Mr. Sample voiced his belief that the Maintenance Agreement refers to maintenance in
109 perpetuity and asked if the CDD might potentially have ongoing maintenance responsibilities.
110 Mr. Adams stated that is what Ms. Willson and the District Engineer are researching.

111 This item will be included on the next agenda.

112 **B. District Engineer: Johnson Engineering, Inc.**

113 Mr. Burford stated he sent an email on Monday regarding the Mitigation Area in Hendry
114 County. A 2014 letter to the SFWMD addresses potential management of the mitigation area,
115 with cost sharing between the Verandah East and Verandah West CDDs. District Counsel will
116 research whether the maintenance responsibility continues, given that the property has sold.

117 Asked how the CDD could be responsible for maintaining property it does not own, Ms.
118 Willson stated it could be tied to development of the property.

119 Mr. Shields stated, in order to gain approval to have a CDD, it is necessary to maintain
120 some land separate from the CDD. Mr. Willis noted that it is referred to as “off-set mitigation”.

121 Ms. Willson cautioned that she is still gathering and reviewing the historic documents
122 related to this and the prior bond financing and what was included in the project. She stated
123 this is not uncommon; she has quite a few CDDs and projects with off-set mitigation areas. She
124 noted there was some difficulty obtaining the public records; the District Engineer is assisting.

125 Mr. Sample stated, in his research, it seems that Bonita Bay was required to acquire
126 mitigating properties elsewhere and these properties were acquired in connection with getting
127 approval for development with the SFWMD at that time.

128 Mr. Willis noted that there are different types of mitigation properties, such as the
129 Panther Mitigation Project; it is a part of obtaining the Limited Development Order (LDO) in
130 conjunction with the bonds.

131 It was noted that, when Kolter took over from Bonita Bay, Kolter inherited that.

132 Mr. Sample stated his belief that the off-site properties for which the CDD is responsible
133 were in the CDD’s name. His understanding is that they are not only not in the CDD’s name but
134 they are also being sold to other developments. He wondered, if the CDD is responsible for
135 water management on those sites, if the CDD is also responsible for what is developed and for
136 mitigating it. He thinks that the CDD is accountable but not responsible.

137 Mr. Willis believes that the mitigation encumbrances are passed on when the land is
138 sold so they remain with the property no matter who purchases it.

139 Ms. Willson stated her understanding that the property has a conservation easement on
140 it; the conservation easement limits what can be done with the property so that the owner
141 could not construct a Publix, for example. Certain passive activities can be continued and each
142 conservation easement is a negotiated document, so there are different types of passive
143 activities that the owner would have negotiated for the right to continue doing on the property.
144 Typically, another property is responsible for certain maintenance of the property. The owner

145 of the property can do certain things and there are other things for which the third-party
146 maintenance entity is responsible; these are contingent upon the permit requirements for
147 development within the CDD. These pertinent documents are still being collected and will be
148 reviewed to determine how it fits with the bond financing.

149 Discussion ensued regarding the property, which was likely purchased by ranchers for
150 cattle grazing.

151 Mr. Sample expressed his opinion that a mechanism for recording the purpose and use
152 of the property should be established.

153 It was noted that there are two off-site parcels together.

154 Mrs. Adams stated that Staff will continue to researching this.

155 **C. District Manager: Wrathell, Hunt & Associates, LLC**

- 156 • **NEXT MEETING DATE: May 8, 2024 at 1:00 PM**

- 157 ○ **QUORUM CHECK**

158 Supervisors Shields, Voiles, Jaross and Moore confirmed their in-person attendance at
159 the May 8, 2024 meeting. Supervisor Sample will attend via telephone.

160 Mrs. Adams stated that the \$8,800 MRI Inspection, LLC contract for cleaning the line at
161 Lake L-ZR that was approved was executed and the work will be completed in late April or early
162 May, before the rainy season.

163 Mr. Willson stated he will tour the property and inspect the lakes with the Aquatics
164 Maintenance team. In his opinion, the lakes look much better and cleaner since the transition
165 to the new company. He noted that the littoral shelves are free of weeds.

166

167 **SEVENTH ORDER OF BUSINESS**

Supervisors' Requests

168

169 Mr. Moore recalled that a schedule of inspections was to be developed.

170 Mrs. Adams stated that she and Mr. Adams will develop the schedule. Assessments will
171 likely increase approximately \$200 per year.

172

173 **EIGHTH ORDER OF BUSINESS**

Adjournment

174

175 **On MOTION by Ms. Voiles and seconded by Mr. Shields, with all in favor, the**
176 **meeting adjourned at 1:24 p.m.**

177

178

[SIGNATURES APPEAR ON THE FOLLOWING PAGE]

179
180
181
182
183
184

Secretary/Assistant Secretary

Chair/Vice Chair

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT**

**STAFF
REPORTS A**

MEMORANDUM

To: Board of Supervisors
From: District Counsel
Date: January 1, 2024
Subject: Ethics Training Requirements

Beginning January 1, 2024, all Board Supervisors of Florida Community Development Districts will be required to complete four (4) hours of Ethics training each year. The four (4) hours must be allocated to the following categories: two (2) hours of Ethics Law, one (1) hour of Sunshine Law, and one (1) hour of Public Records law.

This training may be completed online, and the four (4) hours do not have to be completed all at once. The Florida Commission on Ethics (“COE”) has compiled a list of resources for this training. An overview of the resources are described below, and links to the resources are included in this memo.

Each year when Supervisors complete the required financial disclosure form (Form 1 Statement of Financial Interests), Supervisors must mark a box confirming that he or she has completed the Ethics training requirements. At this time, there is no requirement to submit a certificate; however, the COE advises that Supervisors keep a record of all trainings completed (including date and time of completion), in the event Supervisors are ever asked to provide proof of completion. The training is a calendar year requirement and corresponds to the form year. So, Supervisors will not report their 2024 training until they fill out their Form 1 for the 2025 year.

Free Training Options

The Florida Commission on Ethics’ (“COE”) website has several free online resources and links to resources that Supervisors can access to complete the training requirements. Navigate to that page here: [Florida Commission on Ethics Training](https://ethics.state.fl.us/Training/Training.aspx).¹ Please note that the COE only provides free training for the two (2) hour Ethics portion of the annual training. However, the COE does provide links to free outside resources to complete the Sunshine and Public Records portion of the training. These links are included in this memorandum below for your ease of reference.

¹ <https://ethics.state.fl.us/Training/Training.aspx>

Free Ethics Law Training

The COE provides several videos for Ethics training, none of which are exactly two (2) hours in length. Please ensure you complete 120 minutes of Ethics training when choosing a combination of the below.

State Ethics Laws for Constitutional Officers & Elected Municipal Officers (100 minutes)

Click here: [Kinetic Ethics](#)

Business and Employment Conflicts and Post-Public-Service (56 minutes) Restriction

Click here: [Business and Employment Conflicts](#)

Gifts (50 minutes)

Click here: [Ethics Laws Governing Acceptance of Gifts](#)

Voting Conflicts - Local Officers (58 minutes)¹

Click here: [Voting Vertigo](#)

Free Sunshine/Public Records Law Training

The Office of the Attorney General provides a two (2) hour online training course (audio only) that meets the requirements of the Sunshine Law and Public Records Law portion of Supervisors' annual training.

Click here to access: [Public Meeting and Public Records Law](#)

Other Training Options

4- Hour Course

Some courses will provide a certificate upon completion (not required), like the one found from the Florida State University, Florida Institute of Government, linked here: [4-Hour Ethics Course](#). This course meets all the ethics training requirements for the year, including Sunshine Law and Public Records training. This course is currently \$79.00

CLE Course

The COE's website includes a link to the Florida Bar's Continuing Legal Education online tutorial which also meets all the Ethics training requirements. However, this is a CLE course designed more specifically for attorneys. The 5 hours 18 minutes' long course exceeds the 4-hour requirement and its cost is significantly higher than the 4-Hour Ethics course provided by the Florida State University. The course is currently \$325.00. To access this course, click here: [Sunshine Law, Public Records and Ethics for Public Officers and Public Employees](#).

If you have any questions, please do not hesitate to contact me.

2023 Form 1 - Statement of Financial Interests

General Information

Name: DISCLOSURE FILER
Address: SAMPLE ADDRESS
County: SAMPLE COUNTY

PID SAMPLE

AGENCY INFORMATION

Organization	Suborganization	Title
SAMPLE	SAMPLE	SAMPLE

Disclosure Period

THIS STATEMENT REFLECTS YOUR FINANCIAL INTERESTS FOR CALENDAR YEAR ENDING DECEMBER 31, 2023 .

Primary Sources of Income

PRIMARY SOURCE OF INCOME (Over \$2,500) (Major sources of income to the reporting person)
(If you have nothing to report, write "none" or "n/a")

Name of Source of Income	Source's Address	Description of the Source's Principal Business Activity

Secondary Sources of Income

SECONDARY SOURCES OF INCOME (Major customers, clients, and other sources of income to businesses owned by the reporting person) (If you have nothing to report, write "none" or "n/a")

Name of Business Entity	Name of Major Sources of Business' Income	Address of Source	Principal Business Activity of Source

Real Property

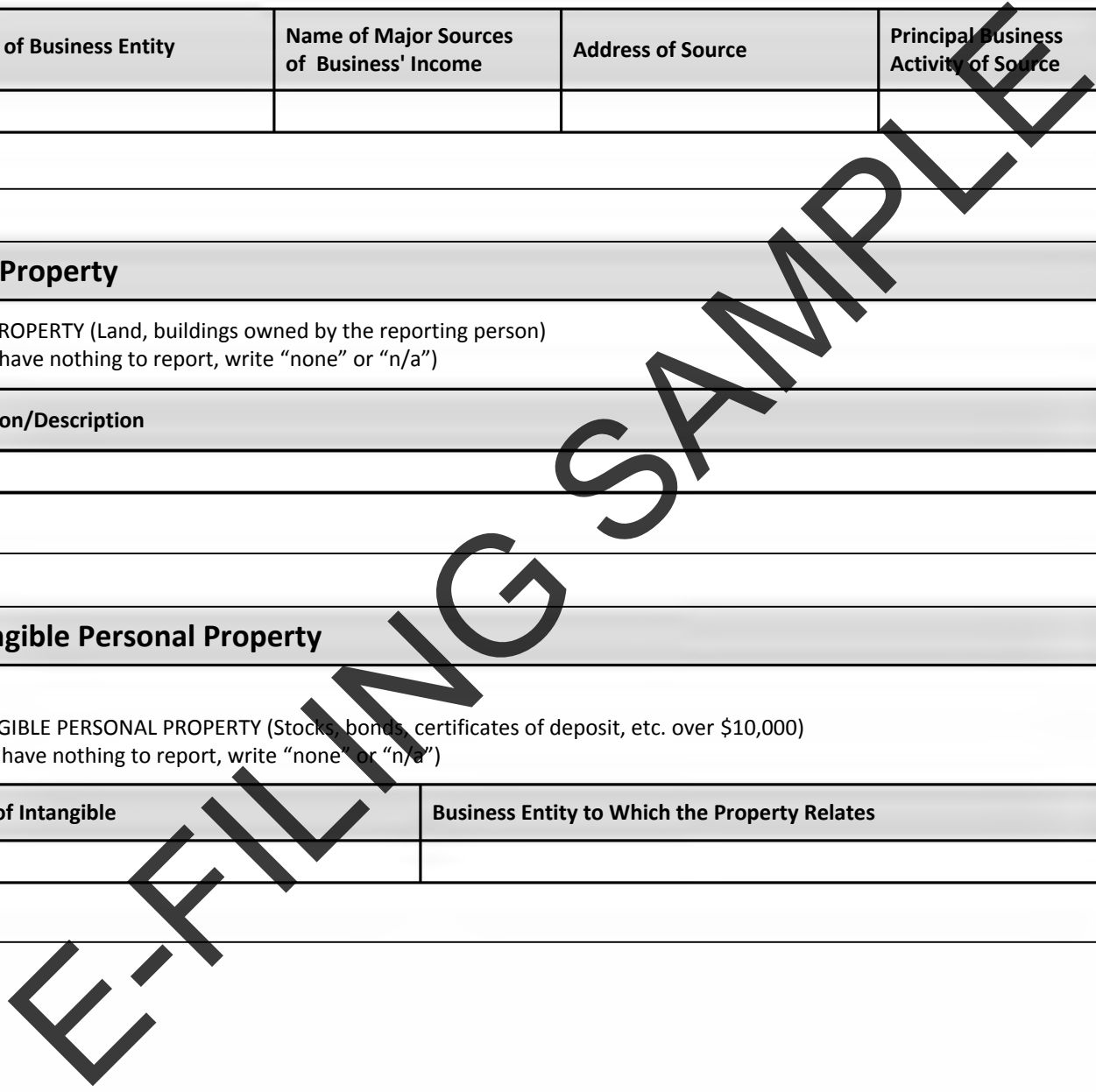
REAL PROPERTY (Land, buildings owned by the reporting person) (If you have nothing to report, write "none" or "n/a")

Location/Description

Intangible Personal Property

INTANGIBLE PERSONAL PROPERTY (Stocks, bonds, certificates of deposit, etc. over \$10,000) (If you have nothing to report, write "none" or "n/a")

Type of Intangible	Business Entity to Which the Property Relates



2023 Form 1 - Statement of Financial Interests

Liabilities

LIABILITIES (Major debts valued over \$10,000):
(If you have nothing to report, write "none" or "n/a")

Name of Creditor	Address of Creditor

Interests in Specified Businesses

INTERESTS IN SPECIFIED BUSINESSES (Ownership or positions in certain types of businesses)
(If you have nothing to report, write "none" or "n/a")

Business Entity # 1

Training

Based on the office or position you hold, the certification of training required under Section 112.3142, F.S., is not applicable to you for this form year.

E-FILING SAMPLE

Signature of Filer

Digitally signed:

Filed with COE:

E-FILING SAMPLE

2023 Form 1 Instructions

Statement of Financial Interests

Notice

The annual Statement of Financial Interest is due July 1, 2024. If the annual form is not submitted via the electronic filing system created and maintained by the Commission September 3, 2024, an automatic fine of \$25 for each day late will be imposed, up to a maximum penalty of \$1,500. Failure to file also can result in removal from public office or employment. [s. 112.3145, F.S.]

In addition, failure to make any required disclosure constitutes grounds for and may be punished by one or more of the following: disqualification from being on the ballot, impeachment, removal or suspension from office or employment, demotion, reduction in salary, reprimand, or a civil penalty not exceeding \$10,000. [s. 112.317, F.S.]

When To File:

Initially, each local officer/employee, state officer, and specified state employee must file **within 30 days** of the date of his or her appointment or of the beginning of employment. Appointees who must be confirmed by the Senate must file prior to confirmation, even if that is less than 30 days from the date of their appointment.

Candidates must file at the same time they file their qualifying papers.

Thereafter, file by July 1 following each calendar year in which they hold their positions.

Finally, file a final disclosure form (Form 1F) within 60 days of leaving office or employment. Filing a CE Form 1F (Final Statement of Financial Interests) does not relieve the filer of filing a CE Form 1 if the filer was in his or her position on December 31, 2023.

Who Must File Form 1

1. Elected public officials not serving in a political subdivision of the state and any person appointed to fill a vacancy in such office, unless required to file full disclosure on Form 6.
2. Appointed members of each board, commission, authority, or council having statewide jurisdiction, excluding those required to file full disclosure on Form 6 as well as members of solely advisory bodies, but including judicial nominating commission members; Directors of Enterprise Florida, Scripps Florida Funding Corporation, and Career Source Florida; and members of the Council on the Social Status of Black Men and Boys; the Executive Director, Governors, and senior managers of Citizens Property Insurance Corporation; Governors and senior managers of Florida Workers' Compensation Joint Underwriting Association; board members of the Northeast Fla. Regional Transportation Commission; board members of Triumph Gulf Coast, Inc; board members of Florida Is For Veterans, Inc.; and members of the Technology Advisory Council within the Agency for State Technology.
3. The Commissioner of Education, members of the State Board of Education, the Board of Governors, the local Boards of Trustees and Presidents of state universities, and the Florida Prepaid College Board.
4. Persons elected to office in any political subdivision (such as municipalities, counties, and special districts) and any person appointed to fill a vacancy in such office, unless required to file Form 6.
5. Appointed members of the following boards, councils, commissions, authorities, or other bodies of county, municipality, school district, independent special district, or other political subdivision: the governing body of the subdivision; community college or junior college district boards of trustees; boards having the power to enforce local code provisions; boards of adjustment; community redevelopment agencies; planning or zoning boards having the power to recommend, create, or modify land planning or zoning within a political subdivision, except for citizen advisory committees, technical coordinating committees, and similar groups who only have the power to make recommendations to planning or zoning boards, and except for representatives of a military installation acting on behalf of all military installations within that jurisdiction; pension or retirement boards empowered to invest pension or retirement funds or determine entitlement to or amount of pensions or other retirement benefits, and the Pinellas County Construction Licensing Board.
6. Any appointed member of a local government board who is required to file a statement of financial interests by the appointing authority or the enabling legislation, ordinance, or resolution creating the board.
7. Persons holding any of these positions in local government: county or city manager; chief administrative employee or finance director of a county, municipality, or other political subdivision; county or municipal attorney; chief county or municipal building inspector; county or municipal water resources coordinator; county or municipal pollution control director; county or municipal environmental control director; county or municipal administrator with power to grant or deny a land development permit; chief of police; fire chief; municipal clerk; appointed district school superintendent; community college president; district medical examiner; purchasing agent (regardless of title) having the authority to make any purchase exceeding \$35,000 for the local governmental unit.

8. Officers and employees of entities serving as chief administrative officer of a political subdivision.
9. Members of governing boards of charter schools operated by a city or other public entity.
10. Employees in the office of the Governor or of a Cabinet member who are exempt from the Career Service System, excluding secretarial, clerical, and similar positions.
11. The following positions in each state department, commission, board, or council: Secretary, Assistant or Deputy Secretary, Executive Director, Assistant or Deputy Executive Director, and anyone having the power normally conferred upon such persons, regardless of title.
12. The following positions in each state department or division: Director, Assistant or Deputy Director, Bureau Chief, and any person having the power normally conferred upon such persons, regardless of title.
13. Assistant State Attorneys, Assistant Public Defenders, criminal conflict and civil regional counsel, and assistant criminal conflict and civil regional counsel, Public Counsel, full-time state employees serving as counsel or assistant counsel to a state agency, administrative law judges, and hearing officers.
14. The Superintendent or Director of a state mental health institute established for training and research in the mental health field, or any major state institution or facility established for corrections, training, treatment, or rehabilitation.
15. State agency Business Managers, Finance and Accounting Directors, Personnel Officers, Grant Coordinators, and purchasing agents (regardless of title) with power to make a purchase exceeding \$35,000.
16. The following positions in legislative branch agencies: each employee (other than those employed in maintenance, clerical, secretarial, or similar positions and legislative assistants exempted by the presiding officer of their house); and each employee of the Commission on Ethics.
17. Each member of the governing body of a "large-hub commercial service airport," as defined in Section 112.3144(1)(c), Florida Statutes, except for members required to comply with the financial disclosure requirements of s. 8, Article II of the State Constitution.

ATTACHMENTS: A filer may include and submit attachments or other supporting documentation when filing disclosure.

PUBLIC RECORD: The disclosure form is a public record and is required by law to be posted to the Commission's website. Your Social Security number, bank account, debit, charge, and credit card numbers, mortgage or brokerage account numbers, personal identification numbers, or taxpayer identification numbers are not required and should not be included. If such information is included in the filing, it may be made available for public inspection and copying unless redaction is required by the filer, without any liability to the Commission. If you are an active or former officer or employee listed in Section 119.071, F.S., whose home address or other information is exempt from disclosure, the Commission will maintain that confidentiality *if you submit a written and notarized request.*

QUESTIONS about this form or the ethics laws may be addressed to the Commission on Ethics, Post Office Drawer 15709, Tallahassee, Florida 32317-5709; physical address: 325 John Knox Road, Building E, Suite 200, Tallahassee, FL 32303; telephone (850) 488-7864.

Instructions for Completing Form 1

Primary Sources of Income

[Required by s. 112.3145(3)(b)1, F.S.]

This section is intended to require the disclosure of your principal sources of income during the disclosure period. You do not have to disclose any public salary or public position(s). The income of your spouse need not be disclosed; however, if there is joint income to you and your spouse from property you own jointly (such as interest or dividends from a bank account or stocks), you should disclose the source of that income if it exceeded the threshold.

Please list in this part of the form the name, address, and principal business activity of each source of your income which exceeded \$2,500 of gross income received by you in your own name or by any other person for your use or benefit.

"Gross income" means the same as it does for income tax purposes, even if the income is not actually taxable, such as interest on tax-free bonds. Examples include: compensation for services, income from business, gains from property dealings, interest, rents, dividends, pensions, IRA distributions, social security, distributive share of partnership gross income, and alimony if considered gross income under federal law, but not child support.

Examples:

- If you were employed by a company that manufactures computers and received more than \$2,500, list the name of the company, its address, and its principal business activity (computer manufacturing).
- If you were a partner in a law firm and your distributive share of partnership gross income exceeded \$2,500, list the name of the firm, its address, and its principal business activity (practice of law).
- If you were the sole proprietor of a retail gift business and your gross income from the business exceeded \$2,500, list the name of the business, its address, and its principal business activity (retail gift sales).
- If you received income from investments in stocks and bonds, list each individual company from which you derived more than \$2,500. Do not aggregate all of your investment income.

- If more than \$2,500 of your gross income was gain from the sale of property (not just the selling price), list as a source of income the purchaser's name, address and principal business activity. If the purchaser's identity is unknown, such as where securities listed on an exchange are sold through a brokerage firm, the source of income should be listed as "sale of (name of company) stock," for example.
- If more than \$2,500 of your gross income was in the form of interest from one particular financial institution (aggregating interest from all CD's, accounts, etc., at that institution), list the name of the institution, its address, and its principal business activity.

Secondary Sources of Income

[Required by s. 112.3145(3)(b)2, F.S.]

This part is intended to require the disclosure of major customers, clients, and other sources of income to businesses in which you own an interest. It is not for reporting income from second jobs. That kind of income should be reported in "Primary Sources of Income," if it meets the reporting threshold. You will not have anything to report unless, during the disclosure period:

1. You owned (either directly or indirectly in the form of an equitable or beneficial interest) more than 5% of the total assets or capital stock of a business entity (a corporation, partnership, LLC, limited partnership, proprietorship, joint venture, trust, firm, etc., doing business in Florida); **and**,
2. You received more than \$5,000 of your gross income during the disclosure period from that business entity.

If your interests and gross income exceeded these thresholds, then for that business entity you must list every source of income to the business entity which exceeded 10% of the business entity's gross income (computed on the basis of the business entity's most recently completed fiscal year), the source's address, and the source's principal business activity.

Examples:

- You are the sole proprietor of a dry cleaning business, from which you received more than \$5,000. If only one customer, a uniform rental company, provided more than 10% of your dry cleaning business, you must list the name of the uniform rental company, its address, and its principal business activity (uniform rentals).
- You are a 20% partner in a partnership that owns a shopping mall and your partnership income exceeded the above thresholds. List each tenant of the mall that provided more than 10% of the partnership's gross income and the tenant's address and principal business activity.

Real Property

[Required by s. 112.3145(3)(b)3, F.S.]

In this part, list the location or description of all real property in Florida in which you owned directly or indirectly at any time during the disclosure period in excess of 5% of the property's value. You are not required to list your residences. You should list any vacation homes if you derive income from them.

Indirect ownership includes situations where you are a beneficiary of a trust that owns the property, as well as situations where you own more than 5% of a partnership or corporation that owns the property. The value of the property may be determined by the most recently assessed value for tax purposes, in the absence of a more accurate fair market value.

The location or description of the property should be sufficient to enable anyone who looks at the form to identify the property. A street address should be used, if one exists.

Intangible Personal Property

[Required by s. 112.3145(3)(b)3, F.S.]

Describe any intangible personal property that, at any time during the disclosure period, was worth more than \$10,000 and state the business entity to which the property related. Intangible personal property includes things such as cash on hand, stocks, bonds, certificates of deposit, vehicle leases, interests in businesses, beneficial interests in trusts, money owed you (including, but not limited to, loans made as a candidate to your own campaign), Deferred Retirement Option Program (DROP) accounts, the Florida Prepaid College Plan, and bank accounts in which you have an ownership interest. Intangible personal property also includes investment products held in IRAs, brokerage accounts, and the Florida College Investment Plan. Note that the product contained in a brokerage account, IRA, or the Florida College Investment Plan is your asset—not the account or plan itself. Things like automobiles and houses you own, jewelry, and paintings are not intangible property. Intangibles relating to the same business entity may be aggregated; for example, CDs and savings accounts with the same bank. Property owned as tenants by the entirety or as joint tenants with right of survivorship, including bank accounts owned in such a manner, should be valued at 100%. The value of a leased vehicle is the vehicle's present value minus the lease residual (a number found on the lease document).

Liabilities

[Required by s. 112.3145(3)(b)4, F.S.]

List the name and address of each creditor to whom you owed more than \$10,000 at any time during the disclosure period. The amount of the liability of a vehicle lease is the sum of any past-due payments and all unpaid prospective lease payments. You are not required to list the amount of any debt. You do not have to disclose credit card and retail installment accounts, taxes owed (unless reduced to a judgment), indebtedness on a life insurance policy owed to the company of issuance, or contingent liabilities. A "contingent liability" is one that will become an actual liability only when one or more future events occur or fail to occur, such as where you are liable only as a guarantor, surety, or endorser on a promissory note. If you are a "co-maker" and are jointly liable or jointly and severally liable, then it is not a contingent liability.

Interests in Specified Businesses

[Required by s. 112.3145(7), F.S.]

The types of businesses covered in this disclosure include: state and federally chartered banks; state and federal savings and loan associations; cemetery companies; insurance companies; mortgage companies; credit unions; small loan companies; alcoholic beverage licensees; pari-mutuel wagering companies, utility companies, entities controlled by the Public Service Commission; and entities granted a franchise to operate by either a city or a county government.

Disclose in this part the fact that you owned during the disclosure period an interest in, or held any of certain positions with the types of businesses listed above. You must make this disclosure if you own or owned (either directly or indirectly in the form of an equitable or beneficial interest) at any time during the disclosure period more than 5% of the total assets or capital stock of one of the types of business entities listed above. You also must complete this part of the form for each of these types of businesses for which you are, or were at any time during the disclosure period, an officer, director, partner, proprietor, or agent (other than a resident agent solely for service of process).

If you have or held such a position or ownership interest in one of these types of businesses, list the name of the business, its address and principal business activity, and the position held with the business (if any). If you own(ed) more than a 5% interest in the business, indicate that fact and describe the nature of your interest.

Training Certification

[Required by s. 112.3142, F.S.]

If you are a Constitutional or elected municipal officer appointed school superintendent, a commissioner of a community redevelopment agency created under Part III, Chapter 163, or an elected local officers of independent special districts, including any person appointed to fill a vacancy on an elected special district board, whose service began on or before March 31 of the year for which you are filing, you are required to complete four hours of ethics training which addresses Article II, Section 8 of the Florida Constitution, the Code of Ethics for Public Officers and Employees, and the public records and open meetings laws of the state. You are required to certify on this form that you have taken such training.

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT**

**STAFF
REPORTS C**



Wrathell, Hunt and Associates, LLC

TO: Verandah East & Verandah West of Supervisors
FROM: Cleo Adams – District Manager
DATE: May 8, 2024
SUBJECT: District Manager Report

For 2024/25 Budget Purposes (Combined):

Water Management:

- Contract Services: \$122,264.00 Expires 5/31/25
- Aquascaping/Pipe Cleanout: \$ 86,300.00 + \$10K = \$96,300.00 (littorals)

Insurance:

- Renewal 2024/25: \$16,558.00 (General Liability/Public Officials)
(\$1,043.00 increase from last year)

Engineering Fees:

- Johnson Eng Fee Increase 1/1/2023: 7%
- (Budget allocation will be based on current financials)

Verandah East Only:

- Perimeter Fence/Wall: \$1,800.00

Verandah West Only: Add On:

- Bank Restoration Projects: Lake H-12: \$120,000.00
Lake H-8A: \$ 7K

Verandah West Only:

- Printing & Binding: Continue to receive agenda books

Aquatic Maintenance:

Lake & Wetland Maintenance Contract: The current contract with Crosscreek Environmental, Inc. is set to expire May 31, 2024. This is an agenda item for Board consideration for the 2nd year option to renew.

Fixed Structure Inspection Reporting: To be completed during the month of May annually. Report will be emailed to the Board as an fyi. Any issues of concern will be brought to the Board at their next scheduled meeting, August 14th.

Bi-Annual Aeration Inspections/Reporting: The bi-annual maintenance event was submitted in December. RE: Lakes BB4 & U5

Note: Next maintenance event is scheduled for June.

Culvert Inspections/Cleaning:

- Lake A-2 to Lake Z-4: Cleaning of this structure was completed during the month of March for a cost of \$8,800.00.
- ROV Inspection of Structure S-12 Located on Edgewater Trace Drive adjacent to Lake R1A \$500.00 due to a depression on the street @ curb: No issues/compromise found to the pipe.
- Pipe Inspections of all District owned pipes was completed in April for a cost of \$6K

Total Cost: \$15,300.00 (shared cost)

Conservation Replant C-1/Verandah West: Continued discussion: Letter received from SFWMD Matt Brosious on February 15th indicating that C-1 is in compliance. Johnson Engineering Fees of \$6,830.00 + attorney fees can only be recovered.

Note: Planting by EarthBalance of \$5,879.00 can't be recovered as the plantings took place after the notice from SFWMD was sent out.

2024 Elections: Verandah East: Seats 3, 4 & 5 (Voiles, Jaross & Moore)
Verandah West: Seats 1, 3 & 5 (Jordan, Faynor & Baldwin)

Seats are set to expire in November. Qualifying period with the Supervisor of Elections office is Noon, June 10th thru Noon, June 14th.

Ethics Training For Special District Supervisors: Supervisors will be required to complete four (4) hours of training each calendar year. For those seated on or before March 31, 2024, the four hours of training must be completed by December 31, 2024. For new Supervisors seated after March 31, 2024, training must be completed by December 31, 2025. Ethics Training Website: <https://ethics.state.fl.us/Training/Training.aspx>.

WRATHELL, HUNT & ASSOCIATES LLC.

2300 GLADES RD, #410W
BOCA RATON FL 33431

Lee County FL – Community Development Districts

04/15/2024

NAME OF COMMUNITY DEVELOPMENT DISTRICT	NUMBER OF REGISTERED VOTERS AS OF 04/15/2024
Babcock Ranch	0
Bay Creek	792
Bayside Improvement	3,068
Beach Road Golf Estates	1,339
Brooks I of Bonita Springs	2,253
Brooks II of Bonita Springs	1,518
Coral Bay	81
East Bonita Beach Road	647
Mediterra	446
Parklands Lee	565
Parklands West	592
River Hall	2,860
River Ridge	1,456
Saltleaf CDD	0
Savanna Lakes	82
Stonewater	226
Stoneybrook	1,740
University Square	0
University Village	0
Verandah East	997
Verandah West	1,014
Waterford Landing	1,512
WildBlue	864

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Tammy Lipa – Voice: 239-533-6329
Email: tlipa@lee.vote

VERANDAH EAST COMMUNITY DEVELOPMENT DISTRICT

BOARD OF SUPERVISORS FISCAL YEAR 2023/2024 MEETING SCHEDULE

LOCATION

11390 Palm Beach Blvd., First Floor, Fort Myers, Florida 33905

DATE	POTENTIAL DISCUSSION/FOCUS	TIME
October 11, 2023	Regular Meeting	1:00 PM
January 10, 2024	Regular Meeting	1:00 PM
May 8, 2024	Regular Meeting	1:00 PM
August 14, 2024	Public Hearing & Regular Meeting	1:00 PM