

VERANDAH EAST

COMMUNITY DEVELOPMENT

DISTRICT

January 8, 2025

BOARD OF SUPERVISORS

REGULAR

MEETING AGENDA

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT**

**AGENDA
LETTER**

Verandah East Community Development District
OFFICE OF THE DISTRICT MANAGER
2300 Glades Road, Suite 410W•Boca Raton, Florida 33431
Phone: (561) 571-0010•Fax: (561) 571-0013•Toll-free: (877) 276-0889

December 30, 2024

Board of Supervisors
Verandah East Community Development District

ATTENDEES:

Please identify yourself each
time you speak to facilitate
accurate transcription of
meeting minutes.

Dear Board Members:

The Board of Supervisors of the Verandah East Community Development District will hold a Regular Meeting on January 8, 2025 at 1:00 p.m., at 11390 Palm Beach Blvd., First Floor, Fort Myers, Florida 33905. The agenda is as follows:

1. Call to Order/Roll Call
2. Public Comments (3 minutes per person)
3. Administration of Oath of Office to Elected Supervisors [Jacqueline Voiles - Seat 3 and David Moore - Seat 5] *(the following will be provided in a separate package)*
 - A. Required Ethics Training and Disclosure Filing
 - Sample Form 1 2023/Instructions
 - B. Membership, Obligations and Responsibilities
 - C. Guide to Sunshine Amendment and Code of Ethics for Public Officers and Employees
 - D. Form 8B: Memorandum of Voting Conflict for County, Municipal and other Local Public Officers
4. Consideration of Resolution 2025-01, Declaring a Vacancy in Seat 4 of the Board of Supervisors Pursuant to Section 190.006(3)(b), Florida Statutes; and Providing an Effective Date
5. Consideration of Appointment of Qualified Elector to Fill Vacant Seat 4; *Term Expires November 2028*
 - Administration of Oath of Office to Appointed Supervisor
6. Consideration of Resolution 2025-02, Electing and Removing Officers of the District and Providing an Effective Date

7. Update/Discussion: General Littoral Plant Growth and Current ERP (Environmental Resource Permit)
8. Acceptance of Unaudited Financial Statements as of November 30, 2024
9. Approval of August 14, 2024 Public Hearings and Regular Meeting Minutes
10. Staff Reports
 - A. District Counsel: *Kutak Rock LLP*
 - B. District Engineer: *Johnson Engineering, Inc.*
 - C. District Manager: *Wrathell, Hunt and Associates, LLC*
 - District Manager's Report
 - NEXT MEETING DATE: May 14, 2025 at 1:00 PM
 - QUORUM CHECK

SEAT 1	RICHARD DENIS SHIELDS, JR.	☐ IN PERSON	☐ PHONE	☐ NO
SEAT 2	JOHN SAMPLE	☐ IN PERSON	☐ PHONE	☐ NO
SEAT 3	JACQUELINE VOILES	☐ IN PERSON	☐ PHONE	☐ NO
SEAT 4		☐ IN PERSON	☐ PHONE	☐ NO
SEAT 5	DAVID MOORE	☐ IN PERSON	☐ PHONE	☐ NO

11. Supervisors' Requests
12. Adjournment

Should you have any questions, please do not hesitate to contact me directly at (239) 989-2939.

Sincerely,



Cleo Adams
District Manager

FOR BOARD MEMBERS AND STAFF TO ATTEND BY TELEPHONE:

CALL-IN NUMBER: 1-888-354-0094

PARTICIPANT CODE: 709 724 7992

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT**

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RESOLUTION 2025-01

RESOLUTION OF THE BOARD OF SUPERVISORS OF THE VERANDAH EAST COMMUNITY DEVELOPMENT DISTRICT DECLARING A VACANCY IN SEAT 4 OF THE BOARD OF SUPERVISORS PURSUANT TO SECTION 190.006(3)(b), FLORIDA STATUTES; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the Verandah East Community Development District (“**District**”) is a local unit of special-purpose government created by, and existing pursuant to Chapter 190, *Florida Statutes*; and

WHEREAS, on November 5, 2024, three (3) members of the Board of Supervisors (“**Board**”) are to be elected by “**Qualified Electors**,” as that term is defined in Section 190.003, *Florida Statutes*; and

WHEREAS, the District published a notice of qualifying period set by the Supervisor of Elections at least two (2) weeks prior to the start of said qualifying period; and

WHEREAS, at the close of the qualifying period, two (2) Qualified Electors are qualified to run for the three (3) seats available for election by the Qualified Electors of the District; and

WHEREAS, pursuant to Section 190.006(3)(b), *Florida Statutes*, the Board shall declare Seat 4 vacant, effective the second Tuesday following the general election; and

WHEREAS, a Qualified Elector is to be appointed to the vacant seat within 90 days thereafter; and

WHEREAS, the Board finds that it is in the best interests of the District to adopt this Resolution declaring the seat available for election as vacant.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE VERANDAH EAST COMMUNITY DEVELOPMENT DISTRICT:

SECTION 1. The following seat is declared vacant effective as of November 19, 2024:

Seat #4 (currently held by Christine Jaross)

SECTION 2. Until such time as the District Board nominates a Qualified Elector to fill the vacancy declared in Section 1 above, the incumbent Board Supervisor of that respective seat shall remain in office.

SECTION 3. This Resolution shall become effective upon its passage.

PASSED AND ADOPTED this 8th day of January, 2025.

ATTEST:

**VERANDAH EAST COMMUNITY
DEVELOPMENT DISTRICT**

Secretary/Assistant Secretary

Chair/Vice Chair, Board of Supervisors

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT**

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RESOLUTION 2025-02

**A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE
VERANDAH EAST COMMUNITY DEVELOPMENT DISTRICT
ELECTING AND REMOVING OFFICERS OF THE DISTRICT AND
PROVIDING FOR AN EFFECTIVE DATE**

WHEREAS, the Verandah East Community Development District ("District") is a local unit of special-purpose government created and existing pursuant to Chapter 190, Florida Statutes; and

WHEREAS, the District's Board of Supervisors desires to elect and remove certain Officers of the District.

**NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF
SUPERVISORS OF THE VERANDAH EAST COMMUNITY
DEVELOPMENT DISTRICT:**

SECTION 1. The following is/are elected as Officer(s) of the District effective January 8, 2025:

_____ is elected Chair

_____ is elected Vice Chair

_____ is elected Assistant Secretary

_____ is elected Assistant Secretary

_____ is elected Assistant Secretary

SECTION 2. The following Officer(s) shall be removed as Officer(s) as of January 8, 2025:

Christine Jaross Assistant Secretary

SECTION 3. The following prior appointments by the Board remain unaffected by this Resolution:

Chuck Adams is Secretary

Craig Wrathell is Assistant Secretary

Cleo Adams is Assistant Secretary

Craig Wrathell is Treasurer

Jeff Pinder is Assistant Treasurer

PASSED AND ADOPTED this 8th day of January, 2025.

ATTEST:

VERANDAH EAST COMMUNITY DEVELOPMENT DISTRICT

Secretary/Assistant Secretary

Chair/Vice Chair, Board of Supervisors

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT**

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From: Mark A. Zordan <maz@johnsoneng.com>

Sent: Friday, October 4, 2024 11:24 AM

To: Cleo Adams <crismond@whhassociates.com>

Cc: Chuck Adams <adamsc@whhassociates.com>; Shane Willis <williss@whhassociates.com>; Gianna Denofrio <denofriog@whhassociates.com>; Daphne Gillyard <gillyardd@whhassociates.com>

Subject: Verandah East ERP No. 36-04314-P-05 & Littoral Plants

Hi Cleo,

As requested, please see attached ERP No. 36-04314-P-05.

I will try to address some concerns in this correspondence. The wetland preservation areas are to be maintained in accordance with the minimum requirements as set forth by SFWMD and Lee County. The only activity that is allowed is the removal of exotic and nuisance vegetation. Spike rush can grow and thrive in permanent water up to an approximate depth of 3 meters. The Lee.Gov link <https://www.leegov.com/dcd/es/land/lake> is a tremendous resource for public education and community outreach for information on "Lake Shorelines & Littoral Plants". The littorals are critical to the ecology and health of the lakes as follows:

Littoral Plant Preservation

Littoral plants are required to be maintained in the lakes within the Community in accordance with the approved plans as part of the Lee County Development Order Permit for Verandah East CDD. The minimum number of plants must be maintained in each lake at all times to help prevent any erosion problems. Residents or landscape contractors are prohibited from removing desirable and required native littoral plants from within the lake tracts without prior written approval from the Verandah East CDD.

Most native littoral wetland plants naturally die back during the dry season and resprout from underground tubers during the wet season. Non-target damage to native vegetation by herbicide use on exotics is prohibited. Dead zones along lake shorelines may need to be replanted following the removal of invasive exotic vegetation. It is important to note that lake littoral plants, which grow in the shallow areas near the shore of a lake, serve several important ecological purposes:

1. **Habitat and Biodiversity:** Littoral plants provide habitat for a wide range of organisms, including fish, insects, amphibians, and birds. The vegetation offers shelter and breeding grounds, contributing to overall biodiversity.
2. **Water Quality Improvement:** These plants help improve water quality by filtering pollutants and nutrients. Their roots can trap sediments and reduce erosion, while they also absorb excess nutrients like nitrogen and phosphorus, which helps prevent algal blooms.

3. Erosion Control: The root systems of littoral plants help stabilize the shoreline, reducing erosion caused by waves and currents. This is crucial for maintaining the slope and integrity of the lake's edge.

4. Oxygen Production: Through the process of photosynthesis, littoral plants release oxygen into the water, which is vital for the survival of aquatic organisms.

5. Food Source: Littoral plants are a primary food source for various herbivorous aquatic animals, such as fish, insects, and waterfowl. The plants themselves or the organisms that live among them often become part of the food chain.

Recommendations:

- It is our opinion that the lake littorals should not be cut, unless otherwise recommended by a lake management company, as it could adversely impact the overall water quality and slope stability of the lakes within the development.
- Professional aquatic management services should continue to be employed to promote a balanced and healthy ecosystem.
- Perform water quality testing to evaluate the chemical composition of the lakes on a recurring basis. Pond Watch Program is a citizen volunteer monitoring program established by the Lee County Hyacinth Control District to educate citizens about pond management in stormwater ponds. For more information, visit <https://lchcd.org/pond-watch-program/>
- Public education and community outreach is encouraged to educate the residents on the value and benefits of maintaining a healthy lake ecosystem. Refer to the following Lee County website <https://www.leegov.com/dcd/es/land/lake> for more information on "Lake Shorelines & Littoral Plants".

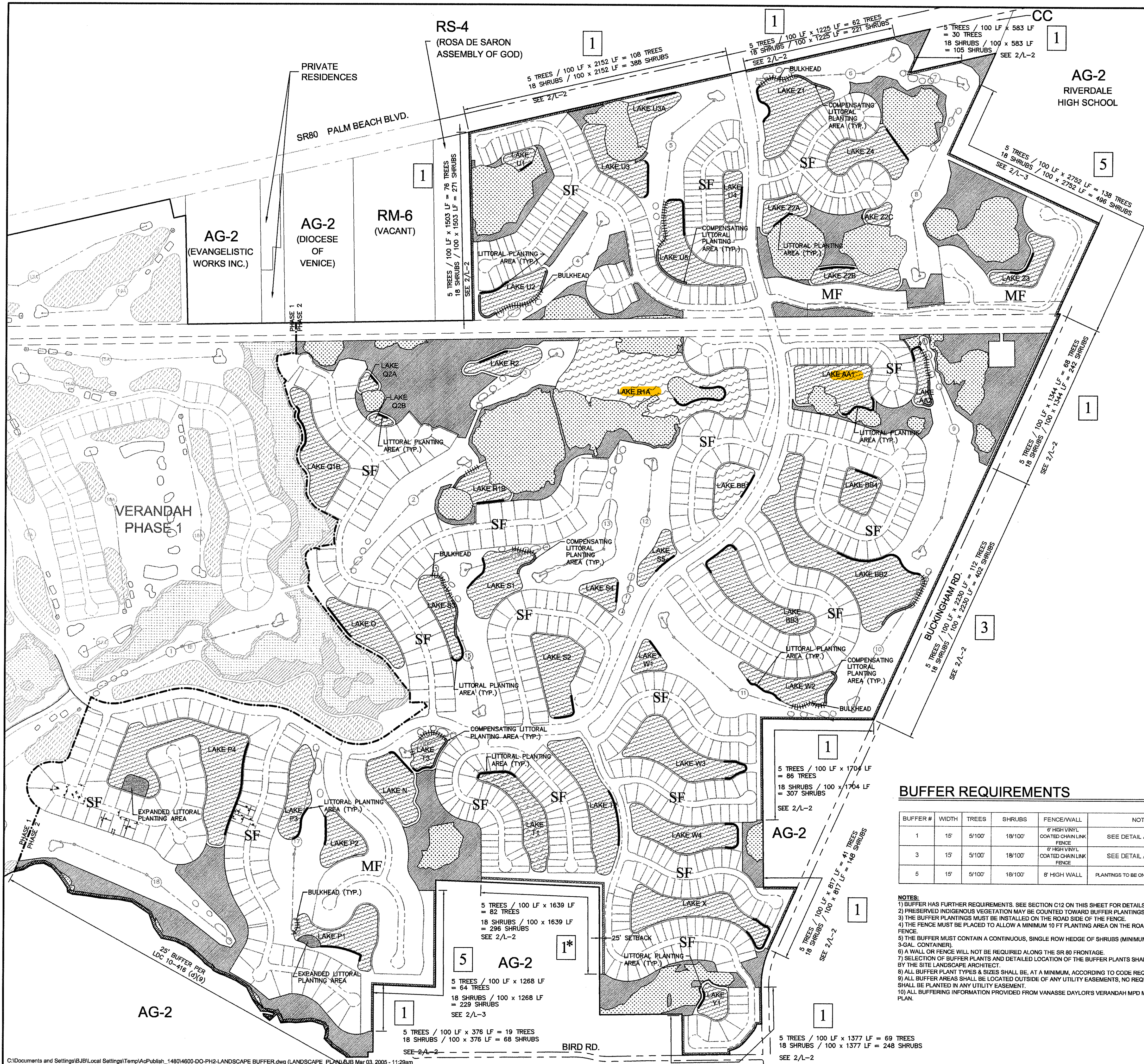
Johnson Engineering, LLC is available to provide environmental services for an in-depth report on the condition of the lakes if so desired. Please do not hesitate to contact me with any questions or concerns. Thank you.

Best regards, Mark

Mark A. Zordan, PMP
Project Manager
JOHNSON ENGINEERING, LLC.
An Apex Company

2122 Johnson Street | Fort Myers, FL 33901
Direct: (239) 461-2474 | Main: (239) 334-0046
Cell: (860) 459-8044

maz@johnsoneng.com
www.johnsonengineering.com



OPEN SPACE SUMMARY

LAND USE	PERMITTED USE	MAX UNITS	EST. ACRES	REQ'D OPEN SPACE (ACRES)	INDIGENOUS REQMT (ACRES)
PARCEL 2-A	SINGLE FAMILY	29	17.1	N/A	6.5 ACRES
PARCEL 2-B	SINGLE FAMILY	47	19.9	N/A	
PARCEL 2-C	SINGLE FAMILY	56	26.0	N/A	
PARCEL 2-D	SINGLE FAMILY	77	19.8	N/A	
PARCEL 2-E	SINGLE FAMILY	24	10.0	N/A	
PARCEL 2-F	MULTI FAMILY	132	16.6	6.6	
PARCEL 2-G	SINGLE FAMILY	28	9.7	N/A	
PARCEL 2-H1	SINGLE FAMILY	37	9.7	N/A	
PARCEL 2-H2	SINGLE FAMILY	112	36.9	N/A	
PARCEL 2-I	SINGLE FAMILY	32	17.8	N/A	
PARCEL 2-J	SINGLE FAMILY	69	23.9	N/A	
PARCEL 2-K	SINGLE FAMILY	72	20.6	N/A	
PARCEL 2-L	SINGLE FAMILY	42	15.8	N/A	
PARCEL 2-M	SINGLE FAMILY	30	6.5	N/A	
PARCEL 2-N	SINGLE FAMILY	64	13.0	N/A	
PARCEL 2-O1	MULTI-FAMILY	31	4.9	2.0	
PARCEL 2-O2	MULTI-FAMILY	84	10.2	4.1	
PARCEL 2-P1	SINGLE FAMILY	29	9.0	N/A	
PARCEL 2-P2	SINGLE FAMILY	44	12.6	N/A	
PARCEL 2-Q	SINGLE FAMILY	45	9.7	N/A	

NOTES:
1) TOTAL OPEN SPACE REQUIREMENT MUST EQUAL A MINIMUM OF 30% OF THE TOTAL DEVELOPED SITE.
2) LAKES NOT INCLUDED IN TOTAL OPEN SPACE CALCULATIONS.
3) NO EXISTING INDIGENOUS AREA ON SITE TO PRESERVE.

REQUIRED DEVELOPMENT CALCULATIONS
OPEN SPACE REQUIREMENT

TOTAL SITE AREA:	= 836.1 ACRES +/-
OPEN SPACE REQUIRED (40% OF TOTAL SITE AREA)	= 334.4 ACRES +/-
REQUIRED INDIGENOUS (50% OF REQ'D OPEN SPACE)	= 167.2 ACRES +/-
INDIGENOUS PROVIDED (72% OF REQ'D OPEN SPACE)	= 239.5 ACRES +/-
TOTAL LAKES	= 136.2 ACRES +/-
LAKE CREDIT (25% APPLIES TO OPEN SPACE REQMT)	= 34 ACRES +/-
TOTAL GOLF AREA PROVIDED	= 146.1 ACRES +/-
TOTAL OPEN SPACE PROVIDED (125%)	= 419.6 ACRES +/-

NOTES:
1) TOTAL OPEN SPACE REQUIREMENT MUST EQUAL A MINIMUM OF 30% OF THE TOTAL DEVELOPED SITE.
2) LAKES NOT INCLUDED IN TOTAL OPEN SPACE CALCULATIONS.
3) NO EXISTING INDIGENOUS AREA ON SITE TO PRESERVE.

GENERAL LANDSCAPING TREE REQUIREMENT

36,420,501 SF @ 1 TREE PER 3,000 SF REQUIRED	= 12,141 TREES
TREE CREDITS PROVIDED	= 2,429 CREDITS
TOTAL GENERAL TREES PROVIDED	= 12,145 TREES

NOTES:
1) ONE (1) TREE MUST BE PLANTED OR RETAINED PER 3,000 SF OF DEVELOPMENT AREA.
2) NO MORE THAN 50% OF THE REQUIRED TREES MAY BE LOCATED IN THE REAR OF THE LOT.
3) ALL TREE CREDITS THAT ARE NOT MET SHALL BE REPLACED AT A 5:1 RATION.
4) ALL TREES THAT QUALIFY FOR TREE CREDITS MUST BE 4" CAL. MINIMUM.

LITTORAL PLANTINGS CALCULATIONS

LITTORAL AREAS REQUIRED @ 1 PER LAKE	= 45 LITTORAL AREAS (SEE SHEET L-2)
79,400 PROPOSED LF @ 1 PLANT PER LF REQ'D AT CONTROL	= 79,400 LITTORAL PLANTS REQUIRED
EXPANDED LITTORAL PLANTING SHELF: LAKE P1 @ 12, 095 SF LAKE P4 @ 26, 058 SF	= 2,177 ADD'L PLANTS PROVIDED = 4,691 ADD'L PLANTS PROVIDED

TOTAL LITTORAL PLANTS PROVIDED	= 86,268 LITTORAL PLANTS PROVIDED
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NOTES:
1) THE NUMBERS ABOVE REPRESENT THE TOTAL LITTORAL PLANTS REQUIRED TO MEET LEE CO. DEVELOPMENT CODE.
2) THE MINIMUM REQUIRED NUMBER OF NATIVE WETLAND HERBACEOUS PLANTS IS ONE PLANT PER LINEAR FOOT OF LAKE SHORELINE AT THE CONTROL ELEVATION.
3) CLUSTERS MUST CONTAIN A MINIMUM OF 25 PLANTS WITHIN 50 SF AREA.
4) AT LEAST FOUR DIFFERENT SPECIES MUST BE PLACED.
5) A MINIMUM REQUIRED HERBACEOUS PLANT SIZE IS A TWO-INCH CONTAINER, REFERRED TO AS A LINER. TREES AND SHRUBS MUST MEET THE MINIMUM STANDARDS IN SEC. 10-420.

LEGEND

MF/SF	PROPOSED USE : MULTI-FAMILY, SINGLE FAMILY
X	BUFFER TYPE
[Pattern]	WETLAND CONSERVATION
[Pattern]	UPLAND CONSERVATION
[Pattern]	NATURAL AREA
[Pattern]	LAKE
[Pattern]	EXPANDED AND COMPENSATING LITTORAL PLANTING AREAS
[Pattern]	LITTORAL PLANTING AREAS
[Pattern]	BUFFER AREAS
[Pattern]	BULKHEAD

BUFFER REQUIREMENTS

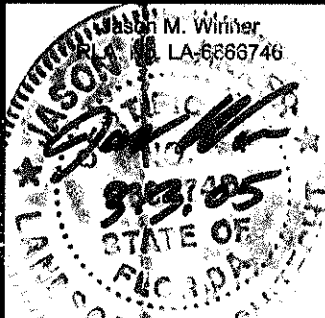
BUFFER #	WIDTH	TREES	SHRUBS	FENCE/WALL	NOTES
1	15'	5/100'	18/100'	6" HIGH VINYL COATED CHAIN LINK FENCE	SEE DETAIL AND NOTES
3	15'	5/100'	18/100'	6" HIGH VINYL COATED CHAIN LINK FENCE	SEE DETAIL AND NOTES
5	15'	5/100'	18/100'	6" HIGH WALL	PLANTINGS TO BE ON OUTSIDE OF WALL

NOTES:
1) BUFFER HAS FURTHER REQUIREMENTS. SEE SECTION C12 ON THIS SHEET FOR DETAILS.
2) PRESERVED INDIGENOUS VEGETATION MAY BE COUNTED TOWARD BUFFER PLANTINGS.
3) THE BUFFER PLANTINGS MUST BE INSTALLED ON THE ROAD SIDE OF THE FENCE.
4) THE FENCE MUST BE PLACED TO ALLOW A MINIMUM 10 FT PLANTING AREA ON THE ROAD SIDE OF THE FENCE.
5) THE BUFFER MUST CONTAIN A CONTINUOUS, SINGLE ROW HEDGE OF SHRUBS (MINIMUM 24" HEIGHT AND 3-GAL. CONTAINER).
6) A WALL OR FENCE WILL NOT BE REQUIRED ALONG THE SR 80 FRONTAGE.
7) SELECTION OF BUFFER PLANTS AND DETAILED LOCATION OF THE BUFFER PLANTS SHALL BE APPROVED BY THE SITE LANDSCAPE ARCHITECT.
8) ALL BUFFER PLANT TYPES & SIZES SHALL BE, AT A MINIMUM, ACCORDING TO CODE REQUIREMENTS.
9) ALL BUFFER AREAS SHALL BE LOCATED OUTSIDE OF ANY UTILITY EASEMENTS, NO REQUIRED TREES SHALL BE PLANTED IN ANY UTILITY EASEMENT.
10) ALL BUFFERING INFORMATION PROVIDED FROM VANASSE DAYLOR'S VERANDAH MPD MASTER CONCEPT PLAN.

REVISIONS		
REVISIONS PER LEE COUNTY REVIEW	12/2004	
REVISIONS PER LEE COUNTY REVIEW 2/17/05	BJB	



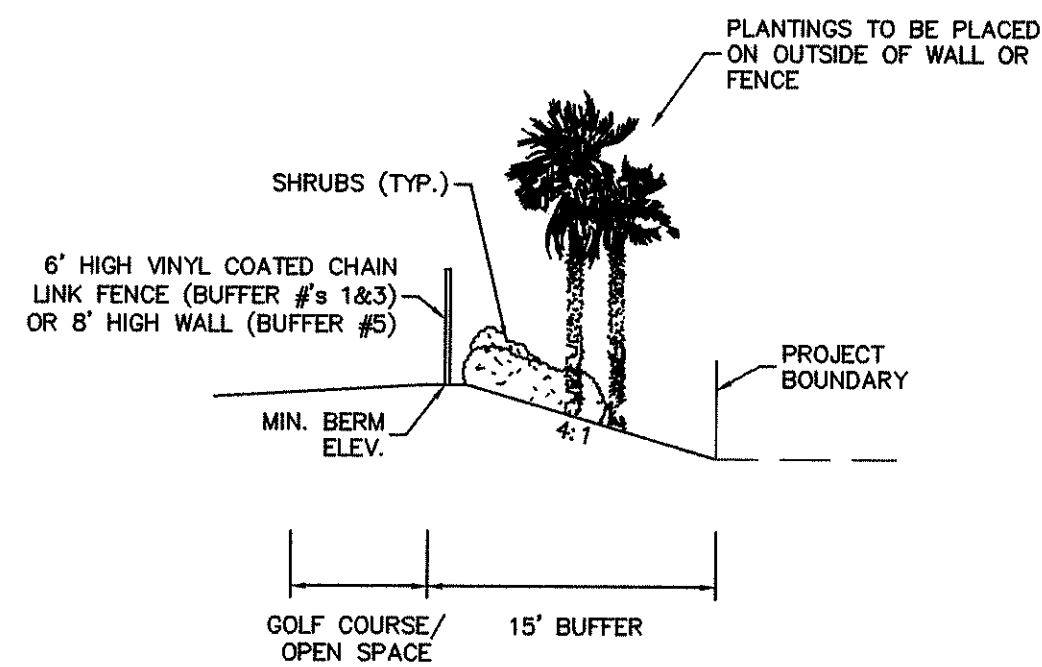
2158 JOHNSON STREET
P.O. BOX 1550
FORT MYERS, FLORIDA 33902-1550
PHONE (239) 334-0046
FAX (239) 334-3661
E.B. #642 & L.B. #642



VERANDAH PHASE 2
LITTORAL PLANTINGS & BUFFERING PLAN

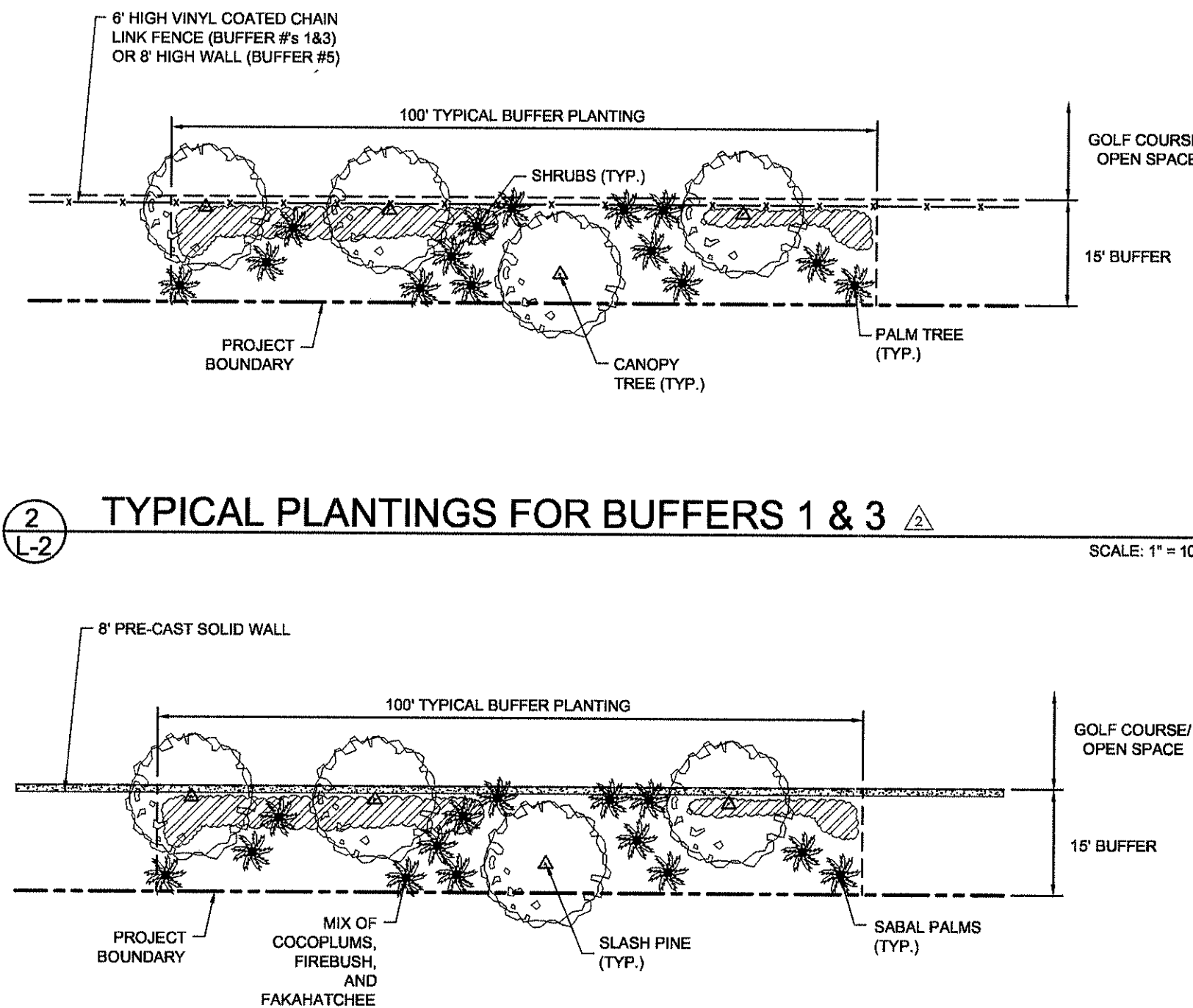
DATE	PROJECT NO.	FILE NO.	SCALE	SHEET
JULY 2004	20044600	32-43-26	1" = 400'	L-1

LAKE BULKHEAD, SHELF & LITTORAL PLANTINGS



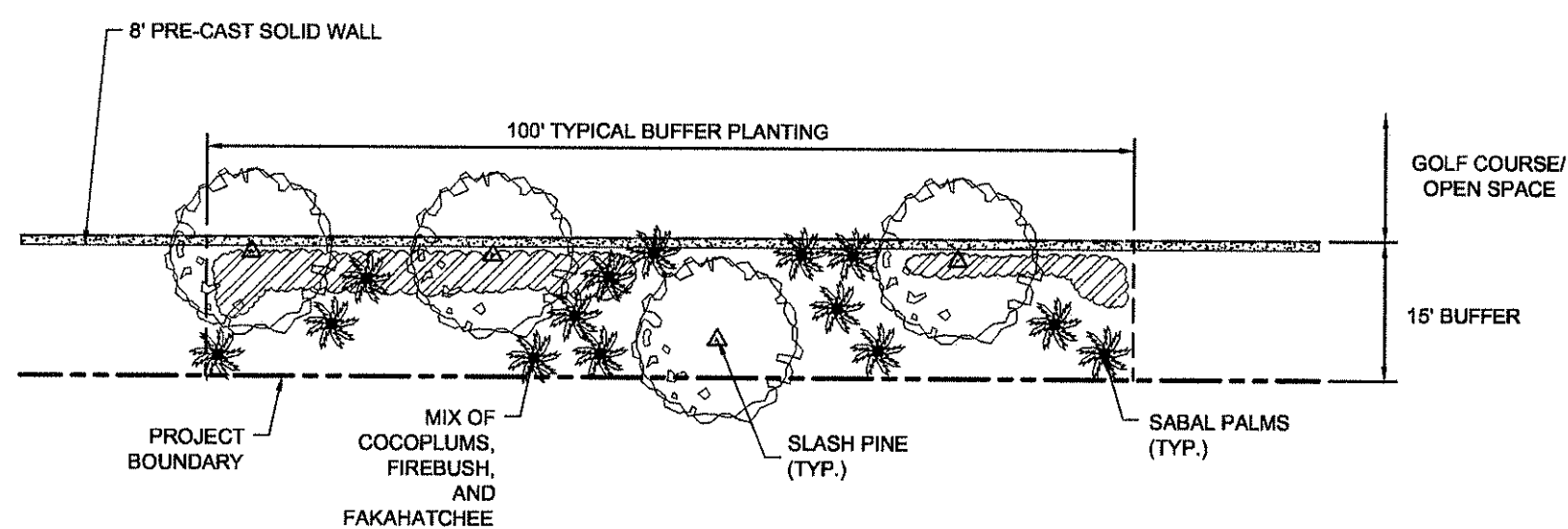
SECTION: BUFFERS 1, 3, & 5

SCALE: 1" = 10'



TYPICAL PLANTINGS FOR BUFFERS 1 & 3

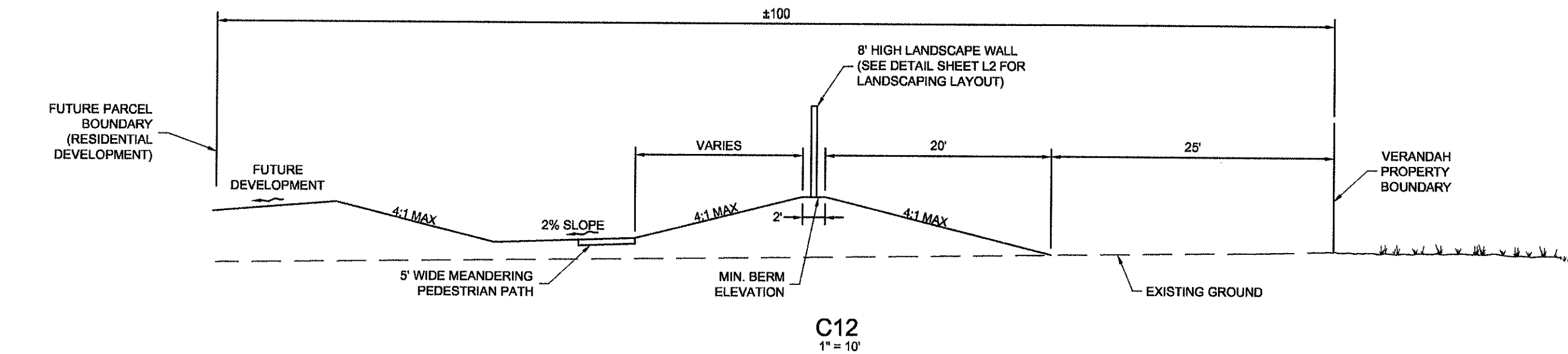
SCALE: 1" = 10'



TYPICAL PLANTINGS FOR BUFFER 5

SCALE: 1" = 10'

NOTES:
1) ALL LANDSCAPE MATERIALS FOR ALL BUFFERS SHALL BE FROM THE VERANDAH APPROVED LANDSCAPE MATERIALS LIST ABOVE. D AT THE CONTROL ELEVATION.
2) BUFFERS ADJACENT TO RIVERSIDE HIGH SCHOOL SHALL CONTAIN AN 8' OPAQUE WALL. THE DEVELOPER SHALL PAINT THE WALL ON THE RIVERDALE H.S. SIDE AND PLANT NATIVE VEGETATION TO FURTHER SOFTEN THE EFFECT OF THE WALL.
3) THE DEVELOPER SHALL MAINTAIN THE WALL AND VEGETATION ON AN ON-GOING BASIS, BUT ARE NOT REQUIRED TO REPAIR SCHOOL-GENERATED DAMAGE AS AGREED UPON BETWEEN THE SCHOOL DISTRICT AND THE DEVELOPER.



FUTURE DEVELOPMENT: PEDESTRIAN PATH

SCALE: 1" = 10'

INDIGENOUS VEGETATION AREA CALCS.

Table 1. (Continued)

Indigenous Preserve	Area	Indigenous Credit	Indigenous Area
AREA 10 (Cont.)	Upland 10F	0.62	0.62
	Wetland 10G	3.95	3.95
	Wetland 10H	9.36	9.36
AREA 11	Upland 11A	0.29	0.29
	Upland 11B	0.17	0.17
	Wetland 11C	8.18	8.18
AREA 12	Upland 12A	0.59	0.59
	Upland 12B	0.60	0.60
	Wetland 12C	0.42	0.42
Phase 1 Total		30.24	108.80
Phase 2			
AREA 13	Upland 13A	0.62	0.62
	Upland 13B	7.82	7.82
	Upland 13C	0.02	0.02
	Wetland 13D	0.07	0.07
	Wetland 13E	0.53	0.53
	Wetland 13F	0.02	0.02
	Wetland 13G	0.23	0.23
	Wetland 13H	0.17	0.17
	Wetland 13I	0.15	0.15
AREA 14	Upland 14A	1.96	1.96
	Upland 14B	0.65	0.65
	Upland 14C	1.08	1.08
	Wetland 14D	2.05	2.05
AREA 15	Upland 15A	10.21	10.21
	Wetland 15B	1.59	1.59
	Wetland 15C	0.56	0.56
	Wetland 15D	0.87	0.87
AREA 16	Upland 16A	1.32	1.32
	Upland 17A	0.14	0.14
	Upland 17C	0.56	0.56
	Upland 17D	0.19	0.19
	Wetland 17E	9.99	9.99
	Wetland 17F	6.72	6.72
AREA 18	Upland 18A	0.04	0.04
	Upland 18B	0.09	0.09
	Upland 18C	1.66	1.66
	Wetland 18D	5.48	5.48
AREA 19	Upland 19A	0.34	0.34
	Upland 20A	0.19	0.19
	Upland 20B	1.95	1.95
	Wetland 20C	1.80	1.80
AREA 21	Upland 21A	1.13	1.13

Pasarella and Associates, Inc.
099BIP402 Revised 2/22/05

2 of 3

Table 1. (Continued)

Indigenous Preserve	Area	Indigenous Credit	Indigenous Area
AREA 22	Upland 22A	0.41	0.41
	Upland 22B	0.07	0.07
	Wetland 22C	2.79	2.79
AREA 23	Upland 23A	0.06	0.06
	Wetland 23B	2.37	2.37
AREA 24	Upland 24A	0.82	0.82
	Upland 24B	0.07	0.07
	Upland 24C	2.41	2.41
	Wetland 24D	4.20	4.20
	Wetland 24E	3.54	3.54
AREA 25	Upland 25A	1.14	1.14
AREA 26	Upland 26A	0.64	0.64
AREA 27	Upland 27A	1.46	1.46
	Wetland 27B	4.32	4.32
AREA 28	Upland 28A	0.62	0.62
AREA 29	Upland 29A	1.56	1.56
AREA 30	Upland 30A	5.61	5.61
	Wetland 30B	5.31	5.31
AREA 31	Upland 31A	0.10	0.10
AREA 32	Upland 32A	1.29	1.29
	Upland 32B	5.00	5.00
	Wetland 32C	3.29	3.29
	Wetland 32D	0.59	0.59
AREA 33	Upland 33A	0.86	0.86
AREA 34	Upland 34A	0.48	0.48
	Wetland 34B	0.80	0.80
AREA 35	Upland 35A	1.49	1.49
	Upland 35B	0.06	0.06
	Upland 35C	0.65	0.65
	Upland 35D	0.08	0.08
	Upland 35E	0.15	0.15
	Wetland 35F	4.88	4.88
AREA 36	Upland 36A	0.67	0.67
AREA 37	Upland 37A	0.59	0.59
AREA 38	Wetland 38A	0.67	0.67
AREA 39	Wetland 39A	0.32	0.32
Phase 2 Total		119.82	136.70
TOTAL		289.79	239.50

Pasarella and Associates, Inc.
099BIP402 Revised 2/22/05

3 of 3

NOTES:
1) DATA PROVIDED BY PASARELLA AND ASSOCIATES, INC.
2) NO INDIGENOUS TREE MEASURING FOUR OR MORE INCHES IN DIAMETER AT A POINT TWO FEET ABOVE GROUND LEVEL, NOR ANY SPECIES OF OAK, REGARDLESS OF SIZE MAY BE REMOVED, UNLESS SUCH TREE IS LOCATED WITHIN FIVE FEET OF A STRUCTURE OR DRIVEWAY APPROVED BY THE ARCHITECTURAL REVIEW COMMITTEE (ARC). RESIDENTIAL POOLS THAT CONTAIN INDIGENOUS TREES MUST BE ADDRESSED BY THE ARC PRIOR TO CLEARING AND FILLING THE RESIDENTIAL POOLS.
3) PRIOR TO ISSUANCE OF A VEGETATION REMOVAL PERMIT, ON SITE MEETING WITH ES STAFF MUST BE HELD TO DISCUSS SABAL PALM RELOCATION INTO THE OPEN SPACE AREAS WITHIN THE DEVELOPMENT.

VERANDAH APPROVED LANDSCAPE MATERIALS

VERANDAH APPROVED PALMS	VERANDAH APPROVED TREES
ACOELORRHAPHE WRIGHTII	ACER RUBRUM
CARPENTARIA ACUMINATA	BAUHINIA BLAKEANA
CHAMAEROPS HUMILIS	BUCIDA BUCERAS
PHOENIX DACTYLIFERA	PHOENIX RECLINATA
PHOENIX ROEBELII	PHOENIX ROEBELII
RAPHIS EXCELSA	RAVENA RIVULARIS
RAVENA RIVULARIS	RHAPIDOPHYLLUM HYSTRIX
ROYALSTONIA ELATA	SABAL PALMETTO
SABAL PALMETTO	SERENOA REPENS
SERENOA REPENS	THRINAX MORRISII
THRINAX MORRISII	THRINAX RADIATA
WASHINGTONIA ROBUSTA	WASHINGTONIA ROBUSTA
WODYETIA BIFURCATA	WODYETIA BIFURCATA

VERANDAH APPROVED SHRUBS AND GROUNDCOVERS

BOUGAINVILLEA SPP.	DWARF BOUGAINVILLEA
CARISSA MACROCARPA	NATAL PLUM
CHRYSOBALANUS ICACO	COCO PLUM
CONOCARPUS ERECTUS	GREEN BUTTWOOD
CONOCARPUS ERECTUS	SILVER BUTTWOOD
CRINUM AMERICANUM	STRING LILY
CYCAS REVOLUTA	KING SAGO
GALPHIMIA GRACILIS	THYRALLIS
HAMELIA PATENS	FIRE BUSH
HIBISCUS ROSA SINENSIS	HIBISCUS
HYMENOCAPHIS LATIFOLIA	SPIDER LILY
ILEX VOMITORIA	DWARF YAUPOON HOLLY
IXORA 'NORA GRANT'	NORA GRANT IXORA
JASMINUM MULTIFLORUM	DWARF JASMINE
JUNIPERUS C. PARSONII	PARSONS JUNIPER
LIRIOPE 'EVERGREEN GIANT'	EVERGREEN GIANT LIRIOPE
MURRAYA PANICULATA	ORANGE JASMINE
MYRICA CERIFERA	WAS MYRTLE
MURSINE FLORIBUNDA	RAPANEA
MYRSINE GUIANENSIS	MYRSINE
PHILODENDRON 'XANADU'	XANADU PHILODENDRON
PITTOSPORUM TOBIARA	GREEN PITTOSPORUM
PITTOSPORUM T. VARIATA	VARIATED PITTOSPORUM
PODOCARPUS SPP.	PODOCARPUS
PSYCHOTRIA NERVOSA	WILD COFFEE
RAPHIOLEPIS INDICA 'DWARF'	DWARF INDIAN HAWTHORN
SCHEFFLERA ARBORICOLA	DWARF SCHEFFLERA
SPARTINA BAKERI	CORDGRASS
TRIPSACUM DACTYLOIDES	FAKAHATCHEE GRASS
VIBURNUM 'AWABUKI'	AWABUKI VIBURNUM
VIBURNUM OBOVATUM	WALTERS VIBURNUM
VIBURNUM ODORATISSIMUM	SWEET VIBURNUM
VIBURNUM SUSPENSUM	SWEET VIBURNUM
YUCCA ALOIFOLIA	SANDANKWA VIBURNUM
ZAMIA FURFURACEA	SPANISH BAYONET
ZAMIA PUMILA	CARDBOARD PLANT

VERANDAH PROHIBITED SPECIES LIST

ACACIA AURICULIFORMIS	EARLEAF ACACIA
ARAUCARIA HETEROPHYLLA	NORFOLK ISLAND PINE
CASURINA SPP.	AUSTRALIAN PINE
CAPANIOPSIS ANACARDIOPSIS	MAJESTY PALM
FICUS SPP.	FICUS TREE/SHRUB
MELELEUCA SPP.	PUNK TREE
RHODOMYRTUS TOMENTOSUS	DWARF ROSEMYRTLE
SCHINUS TEREBINTHIFOLIUS	BRAZILIAN PEPPER

NOTE:
TREE AND SHRUB SPECIES AND LOCATIONS TO BE DELINEATED IN CONSTRUCTION DRAWINGS BY THE LANDSCAPE ARCHITECT TO ENSURE CONTINUITY OF PLANTING THROUGHOUT THE SITE.

LDC

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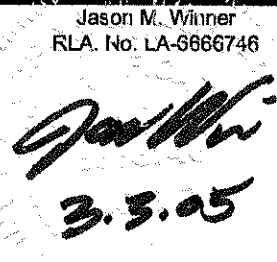
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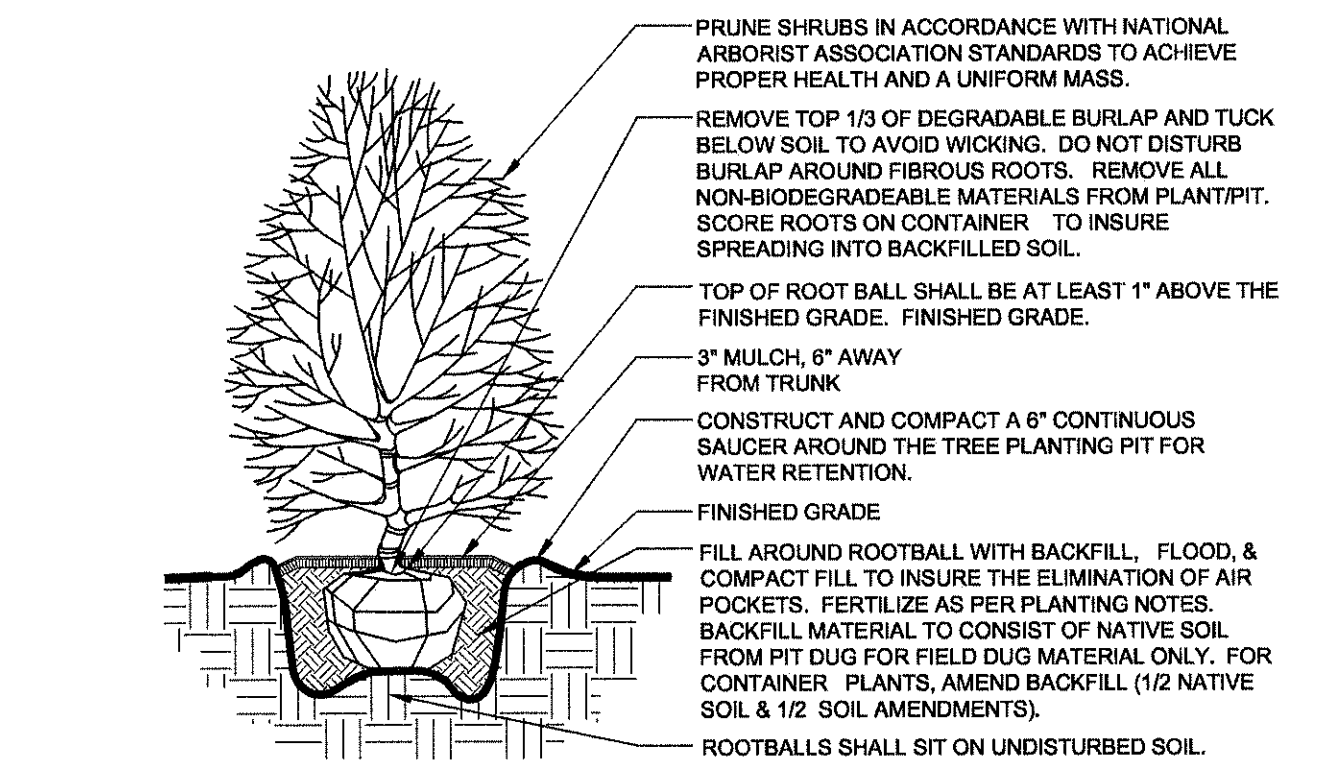
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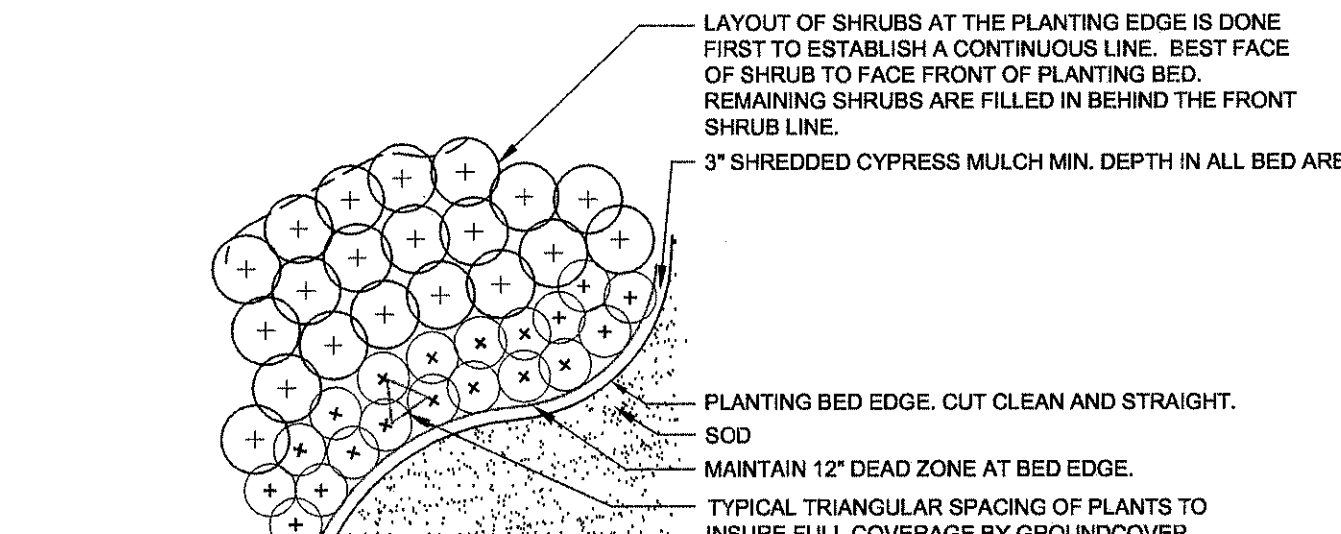
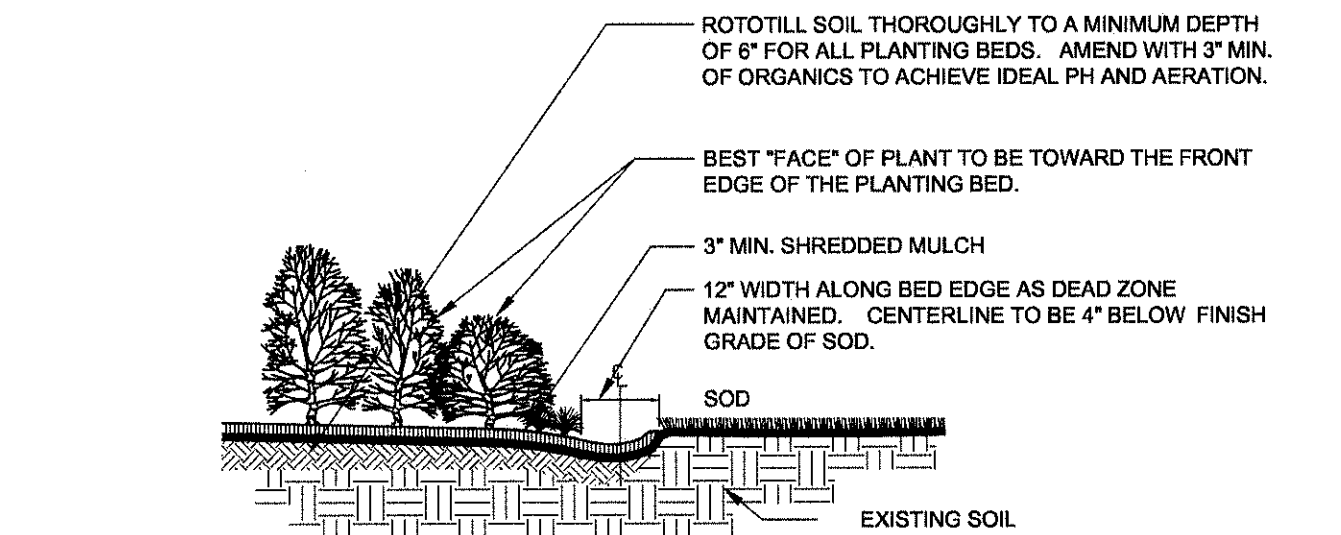
2158 JOHNSON STREET
FORT MYERS, FLORIDA 33902-1550
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VERANDAH PHASE 2
DETAILS & NOTES

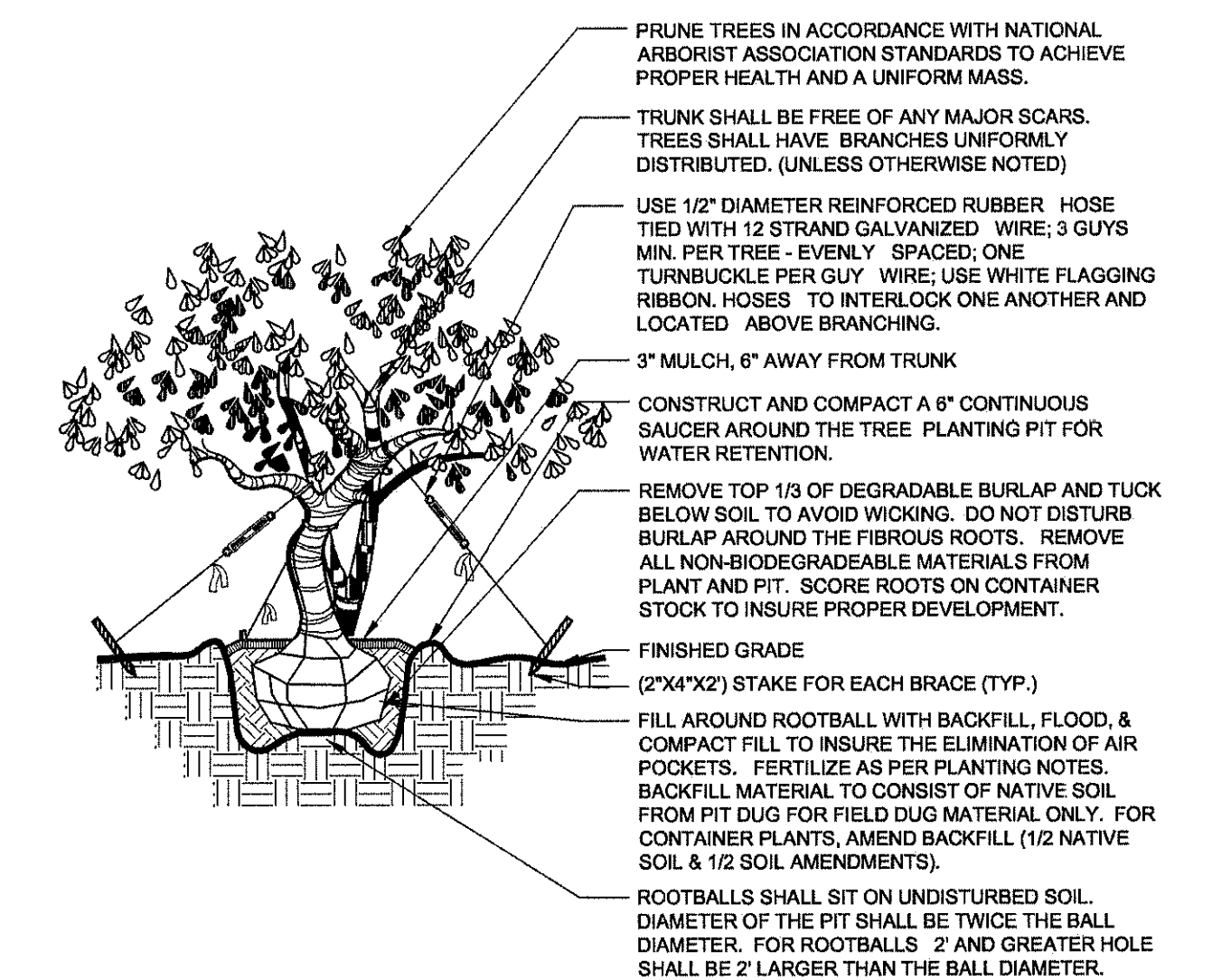
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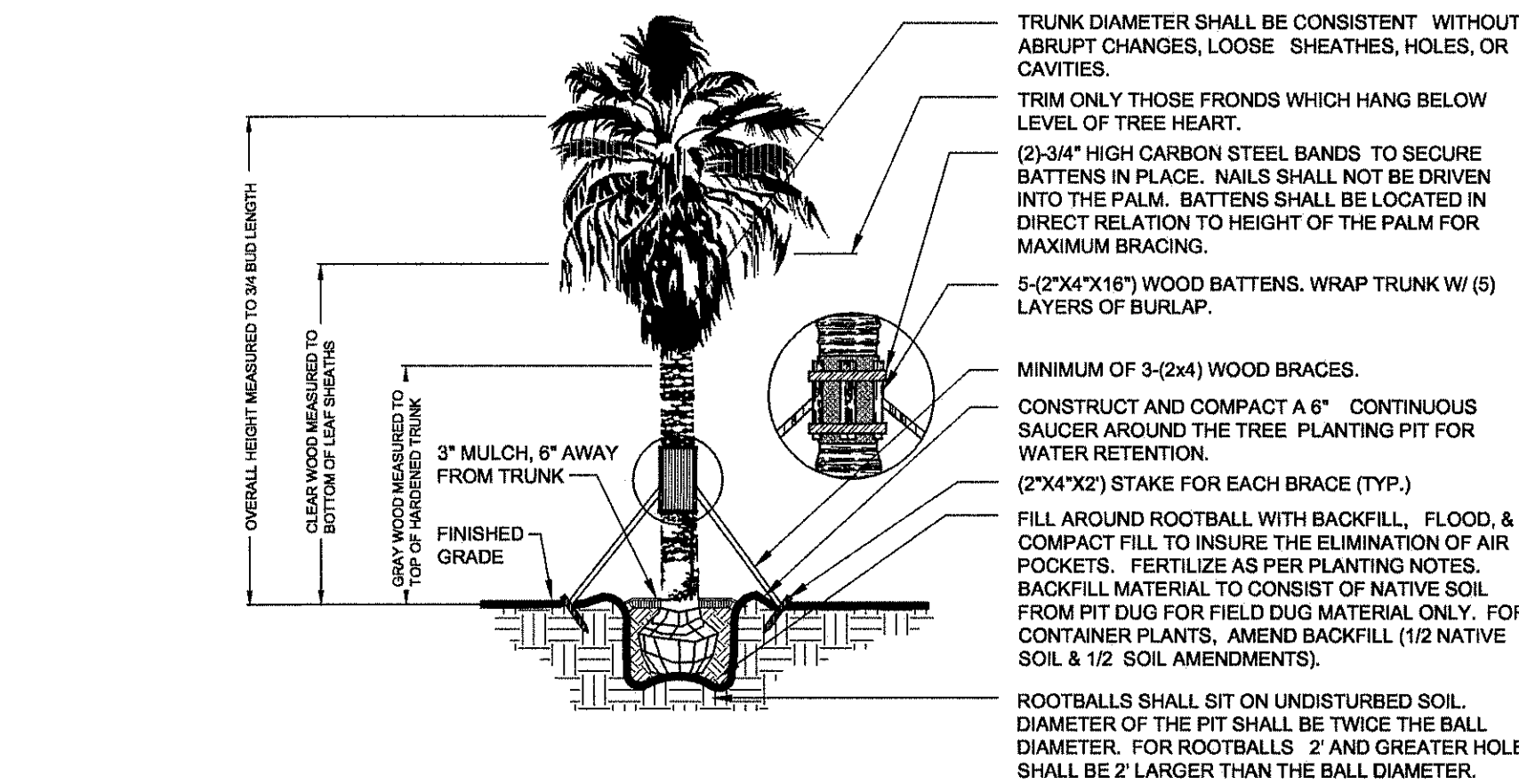
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TYPICAL SHRUB PIT PLANTING
N.T.S.



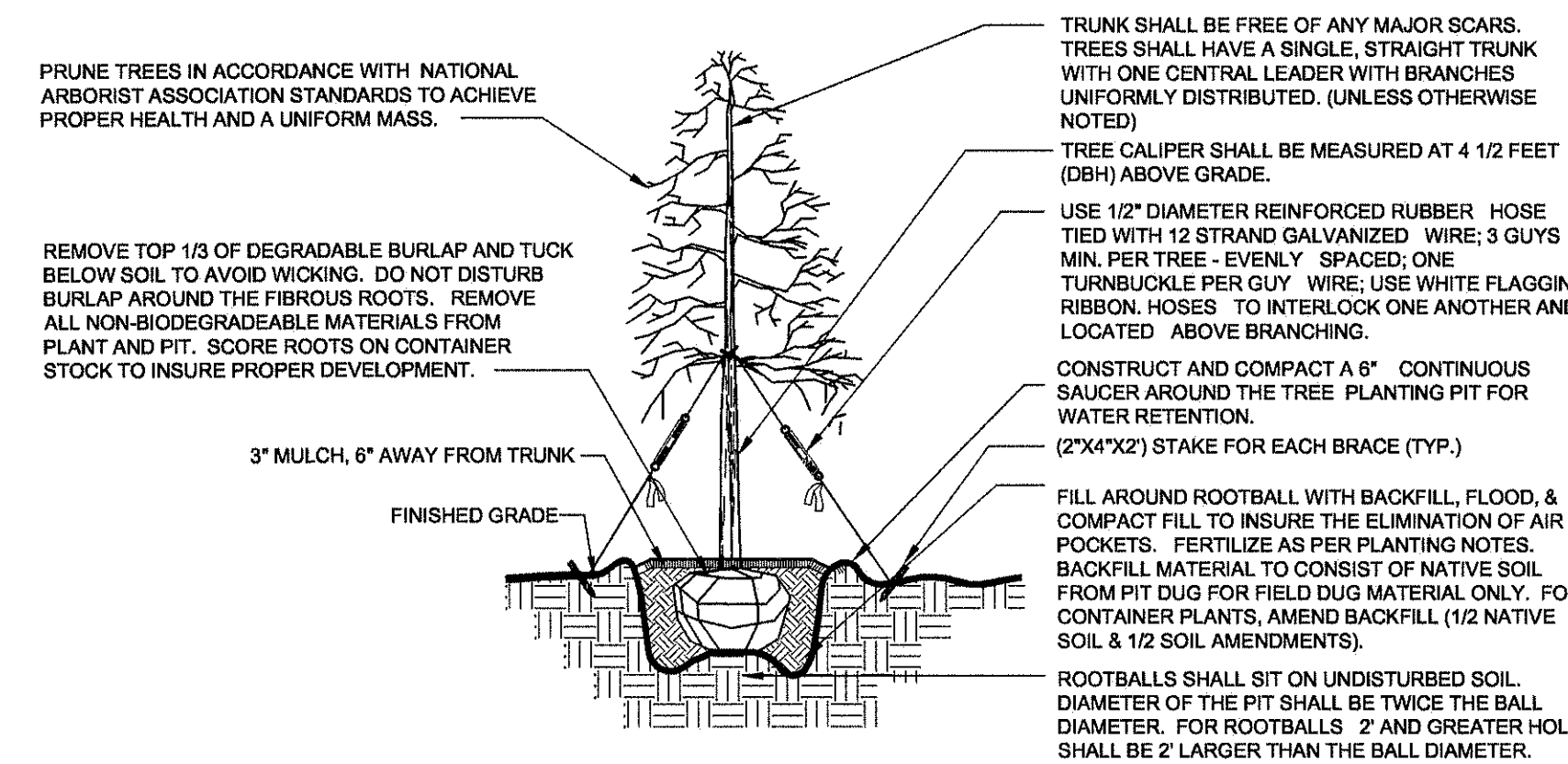
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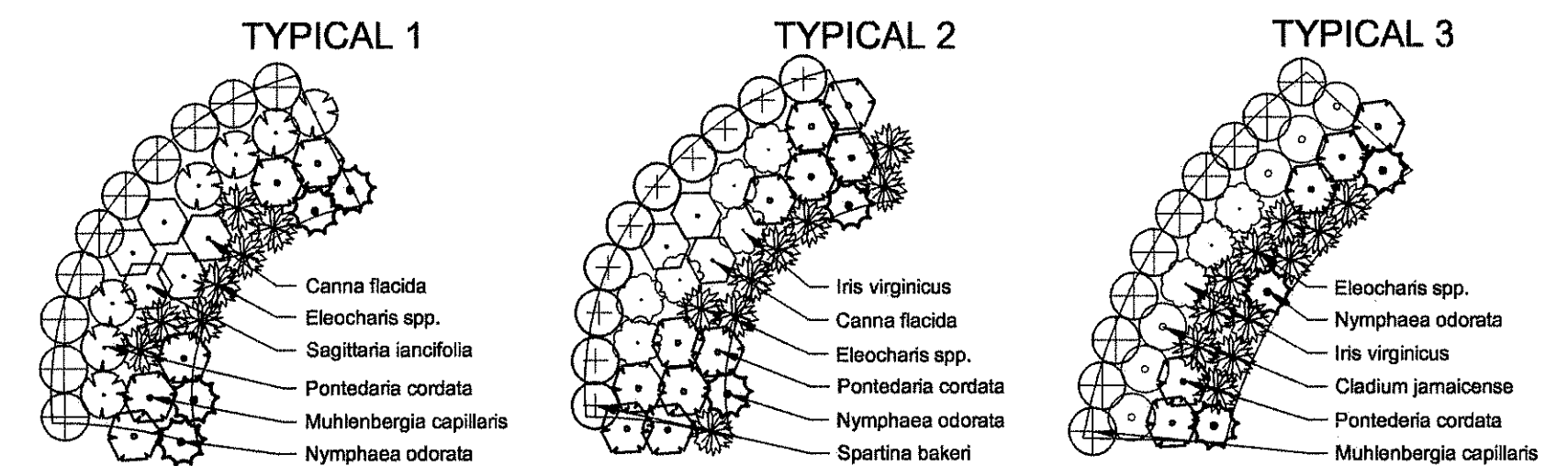
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TYPICAL MULTI-TRUNK TREE PLANTING
N.T.S.



2
L-3
TYPICAL PALM TREE PLANTING
N.T.S.



3
L-3
TYPICAL SINGLE TRUNK TREE PLANTING
N.T.S.



TYPICAL 100 S.F LITTORAL ZONE PLANTINGS

COMMON NAME	SCIENTIFIC NAME	SIZE/HEIGHT	ZONE
CORD GRASS	Spartina bakeri	2" LINERS / 12"	A
SAW GRASS	Cladium jamaicense	2" LINERS / 12"	B
SPIKE RUSH	Eleocharis spp.	2" LINERS / 12"	G
SOFT RUSH	Juncus effusus	2" LINERS / 12"	A,B
BLUE FLAG IRIS	Iris virginicus	2" LINERS / 12"	A,B
GOLDEN CANNA	Canna flaccida	2" LINERS / 12"	A,B
PICKEREL WEED	Pontederia cordata	2" LINERS / 12"	B,C
ARROWHEAD	Sagittaria lanifolia	2" LINERS / 12"	B
SICKER-STEM BULRUSH	Scirpus validus	2" LINERS / 12"	A
LEATHER FERN	Acrostichum danaeifolium	2" LINERS / 12"	A
MULY GRASS	Muhlenbergia capillaris	2" LINERS / 12"	A
FRAGRANT WATER LILY	Nymphaea odorata	1 GALLON POT	C,D

6
L-3
TYPICAL LITTORAL ZONE PLANTINGS
N.T.S.

NOTES:

- THE MINIMUM REQUIRED NUMBER OF NATIVE WETLAND HERBACEOUS PLANTS IS ONE PLANT PER LINEAR FOOT OF LAKE SHORELINE AS MEASURED AT THE CONTROL ELEVATION.
- CLUSTERS MUST CONTAIN A MINIMUM OF 25 PLANTS WITHIN A 50-SQUARE-FOOT AREA.
- AT LEAST FOUR SPECIES MUST BE PLACED.
- MINIMUM REQUIRED HERBACEOUS PLANT SIZE IS A TWO-INCH CONTAINER, REFERRED TO AS A LINER.
- TYPICALS ARE TO ENSURE DESIGN INTENT ONLY.
- FINAL PLANTING LOCATIONS TO BE DELINEATED BY LANDSCAPE ARCHITECT.
- USE A MINIMUM OF 3 PLANTING CONFIGURATIONS PER LAKE TO ENSURE PLANT DIVERSITY (SEE ABOVE TYPICALS FOR LITTORAL PLANTING EXAMPLES)

SPECIFICATIONS

PLANT MATERIALS: ALL TREES, PALMS, SHRUBS, GROUNDCOVERS, LITTORALS, WATER PLANTS, SOD AND VINCES SHALL CONFORM TO THOSE SPECIES AND SIZES INDICATED ON THE DRAWINGS. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS AS DETERMINED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE FLORIDA GRADE NUMBER 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. SPECIMEN MEANS A PLANT THAT IS TRAINED IN ITS DEVELOPMENT TO POSSESS UNQUESTIONABLE AND OUTSTANDINGLY SUPERIOR IN FORM, BRANCHING, COMPACTNESS AND SYMMETRY. TREES FOR PLANTING ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. SINGLE TRUNK TREES SHALL HAVE A STRAIGHT, CENTRAL LEADER, MULTI-TRUNK TREES ARE TO HAVE 3-5 EQUAL SIZED TRUNKS UNLESS OTHERWISE SPECIFIED. PLANTS WITH MARRED OR BURNED TRUNKS WILL NOT BE ACCEPTED. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY IN ACCORDANCE WITH INTERNATIONAL SOCIETY OF ARBORIST GUIDELINES TO INSURE PROPER HEALTH AND VIGOROUS GROWTH. ALL MATERIALS SHALL BE SUBJECT TO JOHNSON ENGINEERING INC.'S APPROVAL.

BALLED & BURLAPPED: ALL BALLED & BURLAPPED STOCK SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED, FREE FROM DISEASE AND INSECTS, SECURE IN THE ROOTBALL, AND POSSESS ADEQUATE ROOT SYSTEMS. ALL BURLAP SHALL BE REMOVED FROM THE TOP ONE-THIRD OF THE BALL TO PREVENT WICKING. ANY BURLAP THAT IS NOT BIODEGRADABLE SHALL BE CAREFULLY REMOVED TO PROTECT DAMAGE TO FEEDER ROOTS. GROW BAGS SHALL BE REMOVED IN THEIR ENTIRETY. ALL BALLED & BURLAPPED STOCK, WHEN NOT IMMEDIATELY PLANTED, SHALL BE HEADED IN AND THOROUGHLY WATERED UNTIL PLANTING. LIFTING, MOVING, OR ADJUSTING THE PLANT MATERIAL BY THE TRUNK IS PROHIBITED.

CONTAINER GROWN STOCK: ALL CONTAINER GROWN STOCK SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED (NOT ROOT BOUND), AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION. ALL CONTAINER GROWN STOCK THAT IS NOT IMMEDIATELY PLANTED, SHALL BE STORED IN A MANNER TO SHADE THE CONTAINERS FROM DIRECT SUNLIGHT TO MINIMIZE ROOT DAMAGE. ALL CONTAINER STOCK SHALL BE THOROUGHLY WATERED PRIOR TO PLANTING AND DURING STORAGE UNTIL PLANTING. LIFTING AND MOVING OF THE PLANT MATERIAL SHALL BE BY THE CONTAINER ONLY.

MEASUREMENTS: TREES' HEIGHTS SHALL BE MEASURED FROM GROUND TO THE AVERAGE BRANCH HEIGHT OF CANOPY. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS SHALL NOT INCLUDE ANY TERMINAL GROWTH. SHRUBS' HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE POINT WHERE MATURE PLANT GROWTH STOPS. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENT SHALL NOT INCLUDE ANY TERMINAL GROWTH. PALMS SHALL BE MEASURED BY THREE HEIGHT CLASSIFICATIONS: OVERALL HEIGHT, CLEAR WOOD, AND GRAY WOOD. OVERALL HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE FROM HEIGHT AT TIME OF INSTALLATION. CLEAR WOOD SHALL BE MEASURED FROM THE GROUND AT TIME OF INSTALLATION TO THE BOTTOM OF THE FROND SHEATH. GRAY WOOD SHALL BE MEASURED FROM THE GROUND AT TIME OF INSTALLATION TO THE TOP OF HARDENED WOOD.

PLANTING SOIL AND BACKFILL: PLANTING SOIL FOR USE IN PREPARING BACKFILL FOR PLANT PITS SHALL BE A FERTILE, FRUITABLE, NATIVE SOIL MATERIALS. IT SHALL BE FREE FROM HEAVY CLAY, STONES, LIMES, LUMPS, PLANTS, ROOTS OR OTHER FOREIGN MATERIALS, NOXIOUS GRASSES OR WEEDS. IT SHALL NOT CONTAIN TOXIC SUBSTANCES WHICH MAY BE HARMFUL TO PLANT GROWTH. AMEND BEDS WITH 3" MINIMUM OF ORGANICS TO ACHIEVE OPTIMAL PH LEVELS AND SOIL AERATION. ROTOTILL TO A DEPTH OF 6" AND INCORPORATE A COMPLETE SLOW RELEASE FERTILIZER AT A 3-1-2 RATIO. THE RESULTS OF POST SOIL MODIFICATION TESTING, BASED ON LIKE PLANTING CONDITIONS AND AREA PROXIMITY, SHALL BE SUBMITTED TO JOHNSON ENGINEERING INC.'S FOR APPROVAL PRIOR TO PLANTING.

COMMERCIAL FERTILIZER: FERTILIZERS SHALL BE UNIFORM IN COMPOSITION, DRY, AND FREE FLOWING AND DELIVERED TO THE SITE IN ORIGINAL UNOPENED BAGS BEARING ALL THE MANUFACTURER'S LABELS. ALL FERTILIZER IS TO BE SLOW RELEASE AND COMPLETE WITH NECESSARY MICRONUTRIENTS. AFTER INSTALLATION, FERTILIZER SHALL BE APPLIED FROM ALL HEDSIDE SURFACES AND WATERED IN THOROUGHLY PER MANUFACTURER'S SPECIFICATIONS. TREES AND SHRUBS MIXTURE SHALL CONSIST OF A SLOW RELEASE THE FORMULATION OF 3 PARTS NITROGEN TO 1 PART PHOSPHOROUS TO 2 PARTS POTASSIUM (3-1-2 RATIO). ALL TREES AND SHRUBS SHALL BE FERTILIZED BI MONTHLY DURING THE GROWING SEASON AT A RATE OF 4-6 LBS. OF A PER 100 SQ. FT. OF BEDS / TREE CANOPY (3" FORM BASE TO DRIPLINE) OR PER MANUFACTURER'S RECOMMENDATION. SOD FERTILIZER SHALL BE TURF SPECIFIC FOR ESTABLISHING NEW TURF PER MANUFACTURER'S RECOMMENDATION. UPON ESTABLISHMENT, THE TURF SHALL BE FERTILIZED AT A RATE OF 1 LB OF ACTUAL NITROGEN PER 1000 FT. SQ. OR PER MANUFACTURER'S RECOMMENDATION. (NOTE: BAHIA TURF SHALL RECEIVE FERTILIZATION AT A HALF RATE OF THE ABOVE TURF RECOMMENDATIONS) APPLY A 1/2 LBS. OF A PALM SPECIFIC (1 PART NITROGEN TO 1 PART POTASSIUM WITH 0.3 PARTS MAGNESIUM) FERTILIZER QUARTERLY FOR ALL ESTABLISHED PALMS PER 2' OF HEIGHT OR PER MANUFACTURER'S RECOMMENDATION.

MULCH: MULCH MATERIAL SHALL BE SHREDDED EUCALYPTUS MULCH, FREE FROM WEED SEEDS, AND APPLIED TO A MINIMUM 3" DEPTH.

SOD: ALL SOD SHALL MEET FLORIDA STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETY TYPE, AND FREE FROM WEEDS, INSECTS, AND DISEASES OF ANY KIND. JOINTS SHALL BE STAGGERED AND BUTT TIGHT TO MINIMIZE AIR GAPS. THE GRADE SHALL BE SMOOTH, FREE OF DEBRIS, POSITIVELY DRAINED, AND MOIST TO SOD INSTALLATION. THE SOD SHALL BE ROLLED IN TWO DIRECTIONS PERPENDICULAR FROM ONE ANOTHER AFTER INSTALLATION TO ENSURE PROPER GROUND CONTACT. IN AREAS WHERE A ROLLER CANNOT BE USED, HAND TAMPING SHALL BE REQUIRED. SOD SHALL BE INSTALLED AND WATERED WITHIN 24 HOURS AFTER HARVESTING.

SUBSTITUTIONS: NO SUBSTITUTION OF ANY MATERIALS' VARIETIES, GRADES, OR SIZES SHALL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM JOHNSON ENGINEERING, INC. ANY AT ALL UNAUTHORIZED SUBSTITUTIONS MAY REQUIRE REPAIRING / REPLACING AT THE CONTRACTOR'S EXPENSE AT JOHNSON ENGINEERING, INC.'S DISCRETION.

WARRANTY: THE CONTRACTOR SHALL WARRANTY ALL WORKMANSHIP FOR THE PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE FROM THE OWNER AND JOHNSON ENGINEERING, INC. ANY DEAD, UNHEALTHY, NON-CONFORMING PLANT MATERIALS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITHIN 7 DAYS OF NOTICE FROM THE OWNER OR JOHNSON ENGINEERING, INC. THE CONTRACTOR SHALL NOT BE LIABLE FOR "ACTS OF GOD" AND VANDALISM, NEGLIGENCE AND THEFT BY OTHERS.

QUALITY ASSURANCE: THE CONTRACTOR SHALL PROVIDE SUBSTANTIAL PROOF TO JOHNSON ENGINEERING, INC. THAT HE / SHE HAS A MINIMUM OF 5 YEARS EXPERIENCE IN THE FIELD OF LANDSCAPE CONTRACTING WITH PROJECTS OF SIMILAR SCOPE. THE CONTRACTOR MUST SUPPLY AT ALL TIMES ON SITE WHEN WORK IS BEING PERFORMED A QUALIFIED SUPERVISOR WITH A MINIMUM OF 18 MONTHS FIELD EXPERIENCE. ALCA LANDSCAPE CERTIFICATIONS CAN SUBSTITUTE IN LIEU OF THE EXPERIENCE REQUIREMENT AT JOHNSON ENGINEERING, INC.'S DISCRETION.

LANDSCAPE IRRIGATION NOTES:

- SET DRAIN AND CHECK VALVES AS APPROPRIATE PER MANUFACTURE'S RECOMMENDATIONS.
- GROUP (WHEN PRACTICAL) AND LOCATE VALVES BOXES AND CONTROLLERS IN AN UNOBTUSIVE / ACCESSIBLE LOCATIONS APPROVED BY JOHNSON ENGINEERING, INC.
- HEAD SPACINGS, WORKING PRESSURE, AND PIPE SIZES SHALL BE IN ACCORDANCE WITH MANUFACTURE'S RECOMMENDATIONS.
- USE BUBBLERS, DRIP, ROTORS, AND SPRAY HEADS WHEN APPROPRIATE. HEADS SHALL BE INSTALLED TO PROVIDE 100% HEAD-TO-HEAD COVERAGE TO ALL LANDSCAPED AREAS. A MOISTURE OR RAIN SENSOR SHALL BE INSTALLED PER MANUFACTURE'S RECOMMENDATIONS.
- HEADS SHALL BE INSTALLED TO MINIMIZE OVER SPRAY TO ALL IMPERVIOUS AREAS INCLUDING: SIDEWALKS, ROADS, DRIVES AND OTHER VEHICLE USE AREAS. NO OVER SPRAY ON WALLS, COLUMNS OR OTHER VERTICAL ARCHITECTURAL FEATURES SHALL BE ALLOWED.
- ALL LITTORAL PLANTING AREAS SHALL HAVE INDEPENDENT ZONES TO ENSURE THE FLEXIBILITY OF REDUCING IRRIGATION APPLICATIONS DURING EXTENDED PERIODS OF RAINFALL. CUSTOMIZATION OF THE WATERING SCHEDULING SHALL INCLUDE DAILY, WEEKLY, AND MONTHLY OPTIONS.
- GROUP PLANT MATERIALS ACCORDING TO SFWMOD XERISCAPE PRINCIPLES WHEN PRACTICAL.
- TURF GRASS AREAS AND PLANTING BEDS SHALL HAVE SEPARATE ZONES AND RUN INDEPENDENTLY FROM ONE ANOTHER WHEN PRACTICAL.

STATUTORY LANDSCAPE NOTES: A

- SEE ENGINEERING PLANS FOR ALL OTHER REQUIRED CALCULATIONS. THIS VEGETATION PLAN MEETS AND/OR EXCEEDS THE MINIMUM REQUIREMENTS OF THE LANDSCAPING SECTION OF THE LEE COUNTY LANDSCAPING CODE.
- SEVENTY-FIVE PERCENT (75%) OF THE TOTAL NUMBER OF REQUIRED TREES AND FIFTY PERCENT (50%) OF THE TOTAL NUMBER OF REQUIRED SHRUBS USED IN BUFFERS AND LANDSCAPE SHALL BE OF INDIGENOUS NATIVE VARIETIES.
- ONE HUNDRED PERCENT (100%) OF ALL REQUIRED TREES AT THE TIME OF INSTALLATION MUST:
 - BE A MINIMUM OF 10' IN HEIGHT.
 - HAVE A 2" CALIPER OF TRUNK DIAMETER (AT 12" ABOVE THE GROUND).
 - HAVE A 4" DIAMETER SPREAD OF CANOPY.
- PALMS MUST HAVE A MINIMUM OF 10' OF CLEAR TRUNK AT THE TIME OF INSTALLATION.
- ALL TREES NOT HAVING A MATURE CANOPY OF A TWENTY FEET (20') MINIMUM SHALL BE MASSED TO CREATE AN EQUIVALENT TWENTY FEET (20') OF CANOPY.
- ALL TREES ADJACENT TO WALKS, BIKE PATHS, AND RIGHTS-OF-WAY MUST BE MAINTAINED WITH EIGHT FOOT OF CLEAR TRUNK.
- REQUIRED SHRUBS AND HEDGES MUST BE A MINIMUM OF 24" (48" FOR TYPE F BUFFERS) IN HEIGHT ABOVE THE ON-SITE ADJACENT PAVEMENT SURFACE REQUIRED TO BE BUFFERED AND/OR SCREENED WHEN MEASURED AT THE TIME OF PLANTING. THEY MUST BE A MINIMUM THREE (3) GALLON CONTAINER SIZE, AND SPACES 18" TO 36" ON CENTER. REQUIRED SHRUBS AND HEDGES MUST BE AT LEAST 36" (60" FOR TYPE F BUFFERS) IN HEIGHT WITHIN 12 MONTHS OF INSTALLATION, EXCEPT FOR VISIBILITY AT INTERSECTIONS AND WHERE PEDESTRIAN ACCESS IS PROVIDED. REQUIRED HEDGES MUST BE PLANTED IN DOUBLE STAGGERED ROWS AND MAINTAINED TO FORM A CONTINUOUS, UNBROKEN, VISUAL SCREEN WITHIN 12 MONTHS OF INSTALLATION.
- PLANT MATERIALS SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO 1 OR BETTER AS GIVEN IN "GRADES AND STANDARDS FOR NURSERY PLANTS", PARTS 1 AND II, DEPARTMENT OF AGRICULTURE, STATE OF FLORIDA (AS AMENDED).
- ALL TREES INSTALLED IN RESPONSE TO THE REQUIRED INTERNAL LANDSCAPE AREAS, ALSO KNOWN AS INTERNAL CANOPY TREES SHALL BE LOCATED WHERE AND AS SHOWN ON THE DRAWINGS. PALMS MAY BE SUBSTITUTED ON A 3:1 BASIS AND CLUSTERED WITH CONSENT OF LANDSCAPE ARCHITECT.
- PLANTINGS IN EASEMENTS: UTILITY, POWER, OR DRAINAGE EASEMENTS MAY OVERLAP REQUIRED BUFFERS; HOWEVER NO REQUIRED TREES OR SHRUBS MAY BE LOCATED IN ANY UTILITY, POWER, OR STREET EASEMENT OR RIGHT-OF-WAY.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN THROUGH FINAL ACCEPTANCE (CERTIFICATE OF COMPLIANCE) A TREE PROTECTION BARRIER FOR ALL INDIVIDUAL OR MASSES OF INDIGENOUS PLANT MATERIALS BEING CREDITED AND/OR PRESERVED. ANY TREES USED FOR CREDIT THAT ARE DAMAGED DURING CONSTRUCTION, SHALL BE REPLACED AT A 5:1 RATIO FOR TREES AND 3:1 RATIO FOR PALMS.
- PLANT MATERIAL PROVIDED IN COMPLIANCE TO THE LEE COUNTY LDC MAY ONLY BE PRUNED TO PROMOTE HEALTH, UNIFORM, AND NATURAL GROWTH OF THE SPECIFIC PLANT (EXCEPT WHERE NECESSARY TO PROMOTE PUBLIC HEALTH, SAFETY, AND WELFARE) PRUNING MUST BE IN ACCORDANCE TO AND ACCEPTABLE WITH THE "PRUNING STANDARDS" (LATEST EDITIONS) ISSUED BY THE NATIONAL ARBORIST ASSOCIATIONS. SEVERELY PRUNED AND/OR DAMAGED TREES MUST BE REPLACED "HAT-RACKING" PRACTICES ARE PROHIBITED.
- THE FOLLOWING EXOTIC SPECIES OF PLANTS SHALL BE REMOVED AND MAINTAINED FROM OPEN SPACES IN PERPETUITY: A. MELALEUCA SPP. (PUNK, CAJUPUT, PAPERBACK TREE) B. CASUARINA SPP. (AUSTRALIAN PINE) C. SCHINUS SPP. (BRAZILIAN PEPPER, FLORIDA HOLLY) D. ACACIA AUSTRALIFORMIS (EARTHAKE ACACIA) E. RHODODENDRUM TOMENTOSUS (DOWNY ROSE MYRTLE) F. SOLANUM VILLOSUM (TROPICAL SODA APPLE)
- AN AUTOMATIC IRRIGATION SYSTEM COMBINING DRIP, SPRAY HEADS AND ROTORS AS APPROPRIATE WILL BE INSTALLED TO PROVIDE 100% COVERAGE TO ALL LANDSCAPED AREAS. A MOISTURE RAIN SENSOR WILL BE INCLUDED IN THE IRRIGATION SYSTEM AND LOCATED ON THE SITE SO THAT IT WILL RECEIVE DIRECT RAINFALL, NOT IMPEDED BY OTHER OBJECTS. THE IRRIGATION SYSTEM WILL BE DESIGNED TO ELIMINATE THE APPLICATION OF WATER TO IMPERVIOUS AREAS, INCLUDING ROADS, DRIVES, AND OTHER VEHICLE USE AREAS. THE IRRIGATION SYSTEM WILL BE DESIGNED TO AVOID IMPACTS ON EXISTING NATIVE VEGETATION THAT WILL BE RETAINED ON THE DEVELOPMENT SITE AND NEW VERTICAL ARCHITECTURAL FEATURES.
- A 2" MINIMUM LAYER OF ORGANIC MULCH, AFTER WATERING-IN, OR OTHER RECYCLED MATERIALS MUST BE PLACED AND MAINTAINED AROUND ALL NEWLY INSTALLED TREES, SHRUBS AND GROUNDCOVER PLANTINGS. EACH TREE MUST HAVE A RING OF MULCH NO LESS THAN 24" BEYOND ITS TRUNK IN ALL DIRECTIONS.
- THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN SAFE SIGHT DISTANCE TRIANGLES AT ALL INTERSECTIONS AND VEHICULAR CONNECTIONS SIGHT TRIANGLES MUST BE IN ACCORDANCE WITH THE ROADSIDE RECOVERY AREA PROVISIONS OF FDOT GREEN BOOK. ALL SIGHT TRIANGLES SHALL MAINTAIN A CLEAR ZONE BETWEEN THIRTY-SIX (36) INCHES AND EIGHT FEET (8'). CONTRACTOR TO VERIFY PRIOR TO FINAL ACCEPTANCE.
- VEGETATION REMOVAL PERMIT MUST BE OBTAINED FROM LEE COUNTY ENVIRONMENT SCIENCES DIVISION PRIOR TO THE COMMENCEMENT OF SITE WORK. A

LANDSCAPE CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES AND SERVICES BEFORE GROUND AND OVERHEAD PRIOR TO THE COMMENCEMENT OF WORK. PROTECTION OF ALL UTILITIES AND SERVICES THROUGHOUT THE COURSE OF WORK IS EXPECTED.
- ALL LANDSCAPE AREAS (EXCEPT FOR PLANTING BEDS) SHALL BE SODDED UNLESS OTHERWISE INDICATED ON THE DRAWINGS. CONTRACTOR SHALL GET APPROVAL OF FINE GRADING FROM LANDSCAPE ARCHITECT PRIOR TO THE INSTALLATION OF TURF. GRADING FOR LANDSCAPE BERMING SHOWN ON PLANS AND DETAILS IS APPROXIMATE ONLY. CONTRACTOR SHALL CONFER WITH LANDSCAPE ARCHITECT PRIOR TO COMMENCING THIS WORK TO CONFIRM ACTUAL SHAPES AND ELEVATIONS OF THE LANDSCAPE BERMING. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FINISH GRADE ALL LANDSCAPE AREAS ELIMINATING ALL BUMPS, DEPRESSIONS, ROCKS, STICK, OR OTHER DEBRIS PRIOR TO THE INSTALLATION OF PLANT MATERIAL. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING POSITIVE SHEET FLOW DRAINAGE AWAY FROM ALL STRUCTURES AND TO ALL DRAINAGE WAYS SHOWN OR IMPLIED ON THE DRAWINGS.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO RELOCATE/ REPOSITION ANY PLANTS AS SITE CONDITIONS MAY DICTATE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH ALL TRADES SO AS TO AVOID ANY CONFLICT WITH THE EXECUTION OF WORK BY OTHERS. OWNER SHALL NOT BE RESPONSIBLE FOR THE DAMAGE TO PLANT MATERIALS CAUSED BY OTHER TRADES OR SUBCONTRACTORS. THE CONDITION OF PLANT MATERIAL SHALL BE IN ACCORDANCE TO THE LANDSCAPE ARCHITECT.
- INSTALLATION OF INTERLOCKING PAVERS SHALL HAVE A BASE USING ROAD-BASE CRUSHED STONE OR ASTM D2940, COMPACTED TO 95% DENSITY FOR PEDESTRIAN & LIGHT VEHICULAR TRAFFIC, 98% FOR HEAVY VEHICULAR TRAFFIC. PROVIDE PITCH FOR DRAINAGE. ONE INCH PER TEN FEET OF PAVING SURFACE, TO BE DONE DURING SUB-GRADE PREPARATION. BEDDING SAND SHOULD BE 1" TO 1 1/2" THICK, USING CONCRETE SAND (ASTM C33). WHEN COMPACTING PAVERS A RUBBER PAD SHOULD BE ATTACHED TO THE PLATE BOTTOM OF THE MECHANICAL VIBRATING MACHINE. FOR BEST PAVEMENT COMPACTION USE A ROLLER COMPACTOR. FOR PRECISE CUTS, USE A DIAMOND BLADE SAW. A SOFT-BOND, MATRIX-BLADE IS RECOMMENDED.
- ALL LANDSCAPE AREAS SHALL BE PROTECTED FROM VEHICULAR ENCROACHMENT BY WHEEL STOPS AND/OR CURBING WHERE IMMEDIATELY ADJACENT TO PAVEMENT.
- THE CONTRACTOR SHALL VERIFY ALL QUANTITIES ON THE DRAWINGS PRIOR TO BIDDING. ALL QUANTITIES ON THE DRAWINGS ARE PROVIDED FOR CONVENIENCE ONLY.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL APPLICABLE PERMITS.

C:\Documents and Settings\B\B\Local Settings\Temp\AcPublish_148014600-00-PH2-LANDSCAPE BUFFER.dwg (DETAILS, NOTES) BJB Mar 03, 2005 - 11:29am

REVISIONS		
Δ	REVISIONS PER LEE COUNTY REVIEW	12/2004
Δ	REVISIONS PER LEE COUNTY REVIEW 2/17/05	BJB

The Bonita Bay Group™

Verandah™

JOHNSON
ENGINEERING

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P.O. BOX 1550
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E.B. #642 & L.B. #642

VERANDAH PHASE 2 LANDSCAPE DETAILS & NOTES				
DATE	PROJECT NO.	FILE NO.	SCALE	SHEET
JULY 2004	20044600	32-43-26	As Shown	L-3

LDC
MAR 2 9 2005
APPROVED



**SOUTH FLORIDA WATER MANAGEMENT DISTRICT
ENVIRONMENTAL RESOURCE
STANDARD PERMIT NO. 36-04314-P-05
DATE ISSUED: January 30, 2013**

Form #0941
08/95

PERMITTEE: K H VERANDAH L L C
8875 HIDDEN RIVER PKWY
TAMPA, FL 33637

VERANDAH EAST CDD
6131 LYONS RD
STE 100
COCONUT CREEK, FL 33073

PROJECT DESCRIPTION: This application is a request for a modification to an Environmental Resource Permit authorizing Construction and Operation of a surface water management system to serve a 145.2 acre mixed use development known as Verandah Basin Q and R Modification, with discharge to the Verandah master surface water management system.

PROJECT LOCATION: LEE COUNTY, SEC 32 TWP 43S RGE 26E

PERMIT DURATION: See Special Condition No:1. Pursuant to Rule 40E-4.321, Florida Administrative Code.

This is to notify you of the District's agency action concerning Notice of Intent for Permit Application No. 121207-9, dated December 7, 2012. This action is taken pursuant to Rule 40E-1.603 and Chapter 40E-40, Florida Administrative Code (F.A.C.).

Based on the information provided, District rules have been adhered to and an Environmental Resource Permit is in effect for this project subject to:

1. Not receiving a filed request for a Chapter 120, Florida Statutes, administrative hearing.
2. the attached 19 General Conditions (See Pages : 2 - 4 of 6),
3. the attached 14 Special Conditions (See Pages : 5 - 6 of 6) and
4. the attached 3 Exhibit(s)

Should you object to these conditions, please refer to the attached "Notice of Rights" which addresses the procedures to be followed if you desire a public hearing or other review of the proposed agency action. Please contact this office if you have any questions concerning this matter. If we do not hear from you in accordance with the "Notice of Rights," we will assume that you concur with the District's action.

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that a "Notice of Rights" has been mailed to the Permittee (and the persons listed in the attached distribution list) no later than 5:00 p.m. on this 30th day of January, 2013, in accordance with Section 120.60(3), Florida Statutes.

BY: _____
Ricardo A. Valera, P.E.
Administrator
Lower West Coast Service Center

NOTICE OF RIGHTS

As required by Sections 120.569(1), and 120.60(3), Fla. Stat., following is notice of the opportunities which may be available for administrative hearing or judicial review when the substantial interests of a party are determined by an agency. Please note that this Notice of Rights is not intended to provide legal advice. Not all the legal proceedings detailed below may be an applicable or appropriate remedy. You may wish to consult an attorney regarding your legal rights.

RIGHT TO REQUEST ADMINISTRATIVE HEARING

A person whose substantial interests are or may be affected by the South Florida Water Management District's (SFWMD or District) action has the right to request an administrative hearing on that action pursuant to Sections 120.569 and 120.57, Fla. Stat. Persons seeking a hearing on a District decision which does or may determine their substantial interests shall file a petition for hearing with the District Clerk within 21 days of receipt of written notice of the decision, unless one of the following shorter time periods apply: 1) within 14 days of the notice of consolidated intent to grant or deny concurrently reviewed applications for environmental resource permits and use of sovereign submerged lands pursuant to Section 373.427, Fla. Stat.; or 2) within 14 days of service of an Administrative Order pursuant to Subsection 373.119(1), Fla. Stat. "Receipt of written notice of agency decision" means receipt of either written notice through mail, or electronic mail, or posting that the District has or intends to take final agency action, or publication of notice that the District has or intends to take final agency action. Any person who receives written notice of a SFWMD decision and fails to file a written request for hearing within the timeframe described above waives the right to request a hearing on that decision.

Filing Instructions

The Petition must be filed with the Office of the District Clerk of the SFWMD. Filings with the District Clerk may be made by mail, hand-delivery or facsimile. **Filings by e-mail will not be accepted.** Any person wishing to receive a clerked copy with the date and time stamped must provide an additional copy. A petition for administrative hearing is deemed filed upon receipt during normal business hours by the District Clerk at SFWMD headquarters in West Palm Beach, Florida. Any document received by the office of the SFWMD Clerk after 5:00 p.m. shall be filed as of 8:00 a.m. on the next regular business day. Additional filing instructions are as follows:

- Filings by mail must be addressed to the Office of the SFWMD Clerk, P.O. Box 24680, West Palm Beach, Florida 33416.
- Filings by hand-delivery must be delivered to the Office of the SFWMD Clerk. **Delivery of a petition to the SFWMD's security desk does not constitute filing. To ensure proper filing, it will be necessary to request the SFWMD's security officer to contact the Clerk's office.** An employee of the SFWMD's Clerk's office will receive and file the petition.
- Filings by facsimile must be transmitted to the SFWMD Clerk's Office at (561) 682-6010. Pursuant to Subsections 28-106.104(7), (8) and (9), Fla. Admin. Code, a party who files a document by facsimile represents that the original physically signed document will be retained by that party for the duration of that proceeding and of any subsequent appeal or subsequent proceeding in that cause. Any party who elects to file any document by facsimile shall be responsible for any delay, disruption, or interruption of the electronic signals and accepts the full risk that the document may not be properly filed with the clerk as a result. The filing date for a document filed by facsimile shall be the date the SFWMD Clerk receives the complete document.

Initiation of an Administrative Hearing

Pursuant to Rules 28-106.201 and 28-106.301, Fla. Admin. Code, initiation of an administrative hearing shall be made by written petition to the SFWMD in legible form and on 8 and 1/2 by 11 inch white paper. All petitions shall contain:

1. Identification of the action being contested, including the permit number, application number, District file number or any other SFWMD identification number, if known.
2. The name, address and telephone number of the petitioner and petitioner's representative, if any.
3. An explanation of how the petitioner's substantial interests will be affected by the agency determination.
4. A statement of when and how the petitioner received notice of the SFWMD's decision.
5. A statement of all disputed issues of material fact. If there are none, the petition must so indicate.
6. A concise statement of the ultimate facts alleged, including the specific facts the petitioner contends warrant reversal or modification of the SFWMD's proposed action.
7. A statement of the specific rules or statutes the petitioner contends require reversal or modification of the SFWMD's proposed action.
8. If disputed issues of material fact exist, the statement must also include an explanation of how the alleged facts relate to the specific rules or statutes.
9. A statement of the relief sought by the petitioner, stating precisely the action the petitioner wishes the SFWMD to take with respect to the SFWMD's proposed action.

A person may file a request for an extension of time for filing a petition. The SFWMD may, for good cause, grant the request. Requests for extension of time must be filed with the SFWMD prior to the deadline for filing a petition for hearing. Such requests for extension shall contain a certificate that the moving party has consulted with all other parties concerning the extension and that the SFWMD and any other parties agree to or oppose the extension. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

If the District takes action with substantially different impacts on water resources from the notice of intended agency decision, the persons who may be substantially affected shall have an additional point of entry pursuant to Rule 28-106.111, Fla. Admin. Code, unless otherwise provided by law.

Mediation

The procedures for pursuing mediation are set forth in Section 120.573, Fla. Stat., and Rules 28-106.111 and 28-106.401-.405, Fla. Admin. Code. The SFWMD is not proposing mediation for this agency action under Section 120.573, Fla. Stat., at this time.

RIGHT TO SEEK JUDICIAL REVIEW

Pursuant to Sections 120.60(3) and 120.68, Fla. Stat., a party who is adversely affected by final SFWMD action may seek judicial review of the SFWMD's final decision by filing a notice of appeal pursuant to Florida Rule of Appellate Procedure 9.110 in the Fourth District Court of Appeal or in the appellate district where a party resides and filing a second copy of the notice with the SFWMD Clerk within 30 days of rendering of the final SFWMD action.

GENERAL CONDITIONS

1. All activities authorized by this permit shall be implemented as set forth in the plans, specifications and performance criteria as approved by this permit. Any deviation from the permitted activity and the conditions for undertaking that activity shall constitute a violation of this permit and Part IV, Chapter 373, F.S.
2. This permit or a copy thereof, complete with all conditions, attachments, exhibits, and modifications shall be kept at the work site of the permitted activity. The complete permit shall be available for review at the work site upon request by District staff. The permittee shall require the contractor to review the complete permit prior to commencement of the activity authorized by this permit.
3. Activities approved by this permit shall be conducted in a manner which does not cause violations of State water quality standards. The permittee shall implement best management practices for erosion and pollution control to prevent violation of State water quality standards. Temporary erosion control shall be implemented prior to and during construction, and permanent control measures shall be completed within 7 days of any construction activity. Turbidity barriers shall be installed and maintained at all locations where the possibility of transferring suspended solids into the receiving waterbody exists due to the permitted work. Turbidity barriers shall remain in place at all locations until construction is completed and soils are stabilized and vegetation has been established. All practices shall be in accordance with the guidelines and specifications described in Chapter 6 of the Florida Land Development Manual; A Guide to Sound Land and Water Management (Department of Environmental Regulation, 1988), incorporated by reference in Rule 40E-4.091, F.A.C. unless a project-specific erosion and sediment control plan is approved as part of the permit. Thereafter the permittee shall be responsible for the removal of the barriers. The permittee shall correct any erosion or shoaling that causes adverse impacts to the water resources.
4. The permittee shall notify the District of the anticipated construction start date within 30 days of the date that this permit is issued. At least 48 hours prior to commencement of activity authorized by this permit, the permittee shall submit to the District an Environmental Resource Permit Construction Commencement Notice Form Number 0960 indicating the actual start date and the expected construction completion date.
5. When the duration of construction will exceed one year, the permittee shall submit construction status reports to the District on an annual basis utilizing an annual status report form. Status report forms shall be submitted the following June of each year.
6. Within 30 days after completion of construction of the permitted activity, the permittee shall submit a written statement of completion and certification by a professional engineer or other individual authorized by law, utilizing the supplied Environmental Resource/Surface Water Management Permit Construction Completion/Certification Form Number 0881A, or Environmental Resource/Surface Water Management Permit Construction Completion Certification - For Projects Permitted prior to October 3, 1995 Form No. 0881B, incorporated by reference in Rule 40E-1.659, F.A.C. The statement of completion and certification shall be based on onsite observation of construction or review of as-built drawings for the purpose of determining if the work was completed in compliance with permitted plans and specifications. This submittal shall serve to notify the District that the system is ready for inspection. Additionally, if deviation from the approved drawings are discovered during the certification process, the certification must be accompanied by a copy of the approved permit drawings with deviations noted. Both the original and revised specifications must be clearly shown. The plans must be clearly labeled as "as-built" or "record" drawings. All surveyed dimensions and elevations shall be certified by a registered surveyor.
7. The operation phase of this permit shall not become effective: until the permittee has complied with the requirements of condition (6) above, and submitted a request for conversion of Environmental Resource Permit from Construction Phase to Operation Phase, Form No. 0920; the District determines the system to

GENERAL CONDITIONS

be in compliance with the permitted plans and specifications; and the entity approved by the District in accordance with Sections 9.0 and 10.0 of the Basis of Review for Environmental Resource Permit Applications within the South Florida Water Management District, accepts responsibility for operation and maintenance of the system. The permit shall not be transferred to such approved operation and maintenance entity until the operation phase of the permit becomes effective. Following inspection and approval of the permitted system by the District, the permittee shall initiate transfer of the permit to the approved responsible operating entity if different from the permittee. Until the permit is transferred pursuant to Section 40E-1.6107, F.A.C., the permittee shall be liable for compliance with the terms of the permit.

8. Each phase or independent portion of the permitted system must be completed in accordance with the permitted plans and permit conditions prior to the initiation of the permitted use of site infrastructure located within the area served by that portion or phase of the system. Each phase or independent portion of the system must be completed in accordance with the permitted plans and permit conditions prior to transfer of responsibility for operation and maintenance of the phase or portion of the system to a local government or other responsible entity.
9. For those systems that will be operated or maintained by an entity that will require an easement or deed restriction in order to enable that entity to operate or maintain the system in conformance with this permit, such easement or deed restriction must be recorded in the public records and submitted to the District along with any other final operation and maintenance documents required by Sections 9.0 and 10.0 of the Basis of Review for Environmental Resource Permit applications within the South Florida Water Management District, prior to lot or units sales or prior to the completion of the system, whichever comes first. Other documents concerning the establishment and authority of the operating entity must be filed with the Secretary of State, county or municipal entities. Final operation and maintenance documents must be received by the District when maintenance and operation of the system is accepted by the local government entity. Failure to submit the appropriate final documents will result in the permittee remaining liable for carrying out maintenance and operation of the permitted system and any other permit conditions.
10. Should any other regulatory agency require changes to the permitted system, the permittee shall notify the District in writing of the changes prior to implementation so that a determination can be made whether a permit modification is required.
11. This permit does not eliminate the necessity to obtain any required federal, state, local and special district authorizations prior to the start of any activity approved by this permit. This permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the permit and Chapter 40E-4 or Chapter 40E-40, F.A.C..
12. The permittee is hereby advised that Section 253.77, F.S. states that a person may not commence any excavation, construction, or other activity involving the use of sovereign or other lands of the State, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required lease, license, easement, or other form of consent authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on sovereign lands or other state-owned lands.
13. The permittee must obtain a Water Use permit prior to construction dewatering, unless the work qualifies for a general permit pursuant to Subsection 40E-20.302(3), F.A.C., also known as the "No Notice" Rule.
14. The permittee shall hold and save the District harmless from any and all damages, claims, or liabilities

GENERAL CONDITIONS

which may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any system authorized by the permit.

15. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered binding, unless a specific condition of this permit or a formal determination under Section 373.421(2), F.S., provides otherwise.
16. The permittee shall notify the District in writing within 30 days of any sale, conveyance, or other transfer of ownership or control of a permitted system or the real property on which the permitted system is located. All transfers of ownership or transfers of a permit are subject to the requirements of Rules 40E-1.6105 and 40E-1.6107, F.A.C.. The permittee transferring the permit shall remain liable for corrective actions that may be required as a result of any violations prior to the sale, conveyance or other transfer of the system.
17. Upon reasonable notice to the permittee, District authorized staff with proper identification shall have permission to enter, inspect, sample and test the system to insure conformity with the plans and specifications approved by the permit.
18. If historical or archaeological artifacts are discovered at any time on the project site, the permittee shall immediately notify the appropriate District service center.
19. The permittee shall immediately notify the District in writing of any previously submitted information that is later discovered to be inaccurate.

SPECIAL CONDITIONS

1. The construction phase of this permit shall expire on January 30, 2018.
2. Operation of the surface water management system shall be the responsibility of VERANDAH East CDD.
3. Discharge Facilities: Through previously permitted facilities.
4. The permittee shall be responsible for the correction of any erosion, shoaling or water quality problems that result from the construction or operation of the surface water management system.
5. Measures shall be taken during construction to insure that sedimentation and/or turbidity violations do not occur in the receiving water.
6. The District reserves the right to require that additional water quality treatment methods be incorporated into the drainage system if such measures are shown to be necessary.
7. Lake side slopes shall be no steeper than 4:1 (horizontal:vertical) to a depth of two feet below the control elevation. Side slopes shall be nurtured or planted from 2 feet below to 1 foot above control elevation to insure vegetative growth, unless shown on the plans.
8. Facilities other than those stated herein shall not be constructed without an approved modification of this permit.
9. A stable, permanent and accessible elevation reference shall be established on or within one hundred (100) feet of all permitted discharge structures no later than the submission of the certification report. The location of the elevation reference must be noted on or with the certification report.
10. The permittee shall provide routine maintenance of all of the components of the surface water management system in order to remove all trapped sediments/debris. All materials shall be properly disposed of as required by law. Failure to properly maintain the system may result in adverse flooding conditions.
11. This permit is issued based on the applicant's submitted information which reasonably demonstrates that adverse water resource related impacts will not be caused by the completed permit activity. Should any adverse impacts caused by the completed surface water management system occur, the District will require the permittee to provide appropriate mitigation to the District or other impacted party. The District will require the permittee to modify the surface water management system, if necessary, to eliminate the cause of the adverse impacts.
12. The permittee acknowledges that, pursuant to Rule 40E-4.101(2), F.A.C., a notice of Environmental Resource or Surface Water Management Permit may be recorded in the county public records. Pursuant to the specific language of the rule, this notice shall not be considered an encumbrance upon the property.
13. If prehistoric or historic artifacts, such as pottery or ceramics, stone tools or metal implements, dugout canoes, or any other physical remains that could be associated with Native American cultures, or early colonial or American settlement are encountered at any time within the project site area, the permitted project should cease all activities involving subsurface disturbance in the immediate vicinity of such discoveries. The permittee, or other designee, should contact the Florida Department of State, Division of Historical Resources, Review and Compliance Section at (850) 245-6333 or (800) 847-7278, as well as the appropriate permitting agency office. Project activities should not resume without verbal and/or written authorization from the Division of Historical Resources. In the event that unmarked human remains are encountered during permitted activities, all work shall stop immediately and the proper authorities notified in accordance with Section 872.05, Florida Statutes.
14. The exhibits and special conditions in this permit apply only to this application. They do not supersede or

SPECIAL CONDITIONS

delete any requirements for other applications covered in Permit No. 36-04314-P unless otherwise specified herein.

Last Date For Agency Action: February 5, 2013

STANDARD ENVIRONMENTAL RESOURCE PERMIT STAFF REPORT

Project Name: Verandah Basin Q And R Modification

Permit No.: 36-04314-P-05

Application No.: 121207-9

Application Type: Environmental Resource (General Permit Modification)

Location: Lee County, S32/T43S/R26E

Permittee : K H Verandah L L C
Verandah East Cdd

Operating Entity : Verandah East Cdd

Project Area: 145.20 acres

Project Land Use: Recreational

Drainage Basin: TIDAL CALOOSAHATCHEE

Sub Basin: ORANGE RIVER

Receiving Body: Existing SWMS

Class: CLASS III

Special Drainage District: NA

Conservation Easement To District : No

Sovereign Submerged Lands: No

PROJECT PURPOSE:

This application is a request for a modification to an Environmental Resource Permit authorizing Construction and Operation of a surface water management system to serve a 145.2 acre mixed use development known as Verandah Basin Q and R modification, with discharge to the Verandah master surface water management system.

PROJECT EVALUATION:**PROJECT SITE DESCRIPTION:**

The site is located on the south side of SR 80 and west of Buckingham Road, in Lee County, Florida. An existing FP&L transmission line bisects the northern third of the Verandah development. A location map is attached as Exhibit 1.0.

Treated run-off from the site flows to the south either into the Orange River, various on-site wetland preserves or into a wetland slough located in the south central portion of the site. This slough begins off-site at Buckingham Road and extends westerly through several properties south of the project. Approximately 3/4 mile west of Buckingham Road, the slough divides with a portion extending to the southwest, across Bird Road and then into the Orange River. The northwest branch continues across an off-site parcel before entering the site at the southeast corner of the project. It continues westerly across the south central portion of the site before flowing into the Orange River at the southwest corner of the site.

The master surface water management system for the existing portions of the Verandah community is constructed and operational.

The previously permitted Verandah Phase 2 project (Application No. 040526-18) contained a total of 873.5 acres of residential development and a total of 65.47 acres of wetland enhancement plus 0.23 acres of wetland restoration (total of 65.7 acres of wetland preserves) pursuant to Application No. 040526-18. In addition, 13.9 acres of upland buffers and 32.09 acres of upland enhancement are cited in this application, for a total conservation easement area of 111.77 acres (please see the Preserve Map attached as Exhibit 3.0). This project area, which encompasses 145.2 acres within the Verandah Phase 2 development, contains 69.11 acres of residential development, 19.29 acres of lakes (other surface waters), 32.70 acres of wetlands, and 24.10 acres of associated preserved upland buffers. There are no impacts to wetlands or other surface waters proposed in this modification.

PROJECT BACKGROUND:

The Verandah development received authorization for Construction and Operation of 618 acres of the 1,455 acre development and Conceptual authorization for the remaining 836.6 acres on October 10, 2002 for a mixed residential and commercial development with golf courses. Numerous modifications have been approved since that time, authorizing construction of phases and modifications to the infrastructure of the residential and golf course area. Pertinent to this application, Application No. 040526-18 authorized modifications to 873.50 acres of development, that included 145.2 acres within Basins Q and R, the subject of this modification.

PROPOSED PROJECT:

The applicant proposes the modification of the surface water management system previously approved as part of Verandah Phase II in application number 040526-18. This modification is proposed to reflect the constructed condition of Basins Q and R. The proposed modification includes reconfiguration of the Basin Q and R boundaries by 9.9 acres, the removal of Lake Q2C from Basin Q, the addition of Lakes R2 and R2A to Basin R, and modification of the land use tables for Basins Q and R. Site surface water management plans and section sheets are attached as Exhibit 2.0.

The proposed modifications in Basins Q and R do not adversely affect elevations or discharge rates within any other basins. The design summary table attached as Exhibit No. 2.1 depicts the existing permit conditions as well as the results of the proposed modification. In all basins, the peak stages for the 5, 25, and 100 year storm events are less than or equal to the existing stages previously permitted. All peak discharge rates are maintained at or below the permitted peak rates.

LAND USE:**Construction****Project:**

	This Phase	Total Project	
Building Coverage	12.67	12.67	acres
Impervious	19.61	19.61	acres
Lake	19.29	19.29	acres
Pervious	36.83	36.83	acres
Preserved	24.10	24.10	acres
Wetland	32.70	32.70	acres
Total:	145.20	145.20	

WATER QUANTITY :**Discharge Rate :**

The project lies within the Orange River Basin. The existing surface water management system for the 145.2 acre basin is consistent with the land use and site grading assumptions from the design of the previously permitted surface water management system, and meets the designed discharge rate for the area and as previously permitted.

WATER QUALITY :

The required water quality and attenuation for the 145.20 acre Basins Q and R is provided by the existing Verandah surface water management system. No adverse water quality impacts are anticipated as a result of the proposed project.

WETLANDS:

There are no impacts to wetlands or other surface waters proposed in this modification.

Wildlife Issues:

The project site does contain preferred habitat for wetland-dependent endangered or threatened wildlife species or species of special concern. No wetland-dependent endangered/threatened species or species of special concern were observed onsite. This permit does not relieve the applicant from complying with all applicable rules and any other agencies' requirements if, in the future, endangered/threatened species or species of special concern are discovered on the site.

CERTIFICATION AND MAINTENANCE OF THE WATER MANAGEMENT SYSTEM:

It is suggested that the permittee retain the services of a Professional Engineer registered in the State of Florida for periodic observation of construction of the surface water management (SWM) system. This will facilitate the completion of construction completion certification Form #0881 which is required pursuant to Section 10 of the Basis of Review for Environmental Resource Permit Applications within the South Florida Water Management District, and Rule 40E-4.361(2), Florida Administrative Code (F.A.C.).

Pursuant to Chapter 40E-4 F.A.C., this permit may not be converted from the construction phase to the operation phase until certification of the SWM system is submitted to and accepted by this District. Rule

40E-4.321(7) F.A.C. states that failure to complete construction of the SWM system and obtain operation phase approval from the District within the permit duration shall require a new permit authorization unless a permit extension is granted.

For SWM systems permitted with an operating entity who is different from the permittee, it should be noted that until the permit is transferred to the operating entity pursuant to Rule 40E-1.6107, F.A.C., the permittee is liable for compliance with the terms of this permit.

The permittee is advised that the efficiency of a SWM system will normally decrease over time unless the system is periodically maintained. A significant reduction in flow capacity can usually be attributed to partial blockages of the conveyance system. Once flow capacity is compromised, flooding of the project may result. Maintenance of the SWM system is required to protect the public health, safety and the natural resources of the state. Therefore, the permittee must have periodic inspections of the SWM system performed to ensure performance for flood protection and water quality purposes. If deficiencies are found, it is the responsibility of the permittee to correct these deficiencies in a timely manner.

RELATED CONCERNS:**Water Use Permit Status:**

The applicant has indicated that surface water lakes and groundwater well will be used as a source for irrigation water for the project. Water Use Permit No. 36-04340-W has been previously issued for this project.

The applicant has indicated that dewatering is not needed for the proposed project.

This permit does not release the permittee from obtaining all necessary Water Use authorization(s) prior to the commencement of activities which will require such authorization, including construction dewatering and irrigation.

CERP:

The proposed project is not located within or adjacent to a Comprehensive Everglades Restoration Project component.

Potable Water Supplier:

Lee County Utilities

Waste Water System/Supplier:

Lee County Utilities

Right-Of-Way Permit Status:

A District Right-of-Way Permit is not required for this project.

DRI Status:

This project is not a DRI.

Historical/Archeological Resources:

No information has been received that indicates the presence of archaeological or historical resources in the project area or indicating that the project will have any effect upon significant historic properties listed, or eligible for listing in the National Register of Historic Places. This permit does not release the permittee from compliance with any other agencies' requirements in the event that historical and/or archaeological resources are found on the site.

DEO/CZM Consistency Review:

The issuance of this permit constitutes a finding of consistency with the Florida Coastal Management Program.

Third Party Interest:

No third party has contacted the District with concerns about this application.

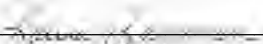
Enforcement:

There has been no enforcement activity associated with this application.

STAFF REVIEW:

DIVISION APPROVAL:

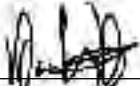
NATURAL RESOURCE MANAGEMENT:



Laura Layman

DATE: 1/28/13

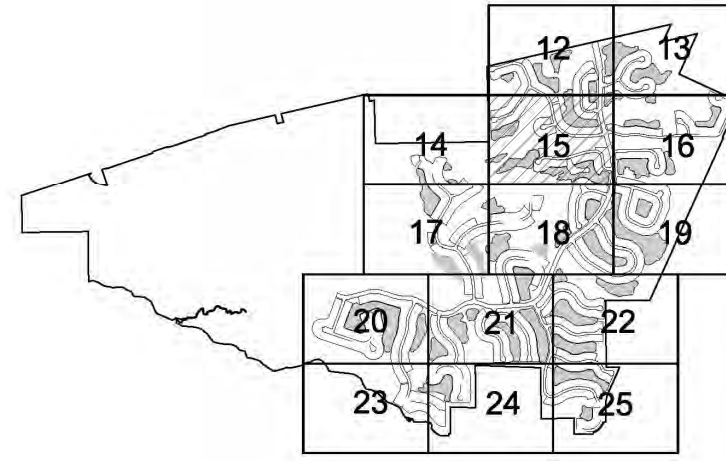
SURFACE WATER MANAGEMENT:



Daniel F. Waters, P.E.

DATE: 1/30/13





Verandah™

MASTER DRAINAGE PLAN

15

Design Summary

Water Quality	Basin A		Basin B		Basin E		Basin F		Basin G	
	Ex	Pr	Ex	Pr	Ex	Pr	Ex	Pr	Ex	Pr
Control Elevation (ft)	4.9	4.9	4.0	4	4.0/4.7	4.0/4.7	3.5	3.5	6.5	6.5
5 Year 1 Day Storm										
Rainfall (in)	5.1	5.1	5.1	5.1	5.1	5.1	5.1	5.1	5.1	5.1
Peak Stage (ft)	6.3	6.3	5.6	5.6	5.4/5.6	5.4/5.6	5.1/5.5	5.1/5.2	7.6	7.6
Min Rd/Parking Crown Elev.(ft)	6.9	6.9	6.0	6.0	6.0/6.7	6.0/6.7	5.5	5.5	8.5	8.5
25 Year 3 Day Storm										
Rainfall (in)	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0
Design Discharge (cfs)	8.8	8.8	23.3	23.3	-	-	32.9	29.5	0.3	0.2
Peak Stage (ft)	7.9	7.7	6.4	6.3	-	-	6.3/6.7	6.3/6.5	9.0	8.9
Minimum Berm Elevation (ft)	7.9	7.9	6.4	6.4	-	-	6.3/6.7	6.3/6.7	9.0	9.0
100 Year 3 Day Storm										
Rainfall (in)	12.6	12.6	12.6	12.6	12.6	12.6	12.6	12.6	12.6	12.6
FEMA Elevation (ft)	8.0	8.0	8.0	8.0	8/9	8/9	9.0	9.0	8.0	8.0
Peak Stage(ft)	8.3	8.3	6.9	6.9	6.8/6.9	6.8/6.9	6.7/7.2	6.7/7.0	9.6	9.6
Min Building Finished Floor (ft)	8.3	8.3	8.0	8.0	8/9	8/9	9.0	9.0	9.6	9.6

Water Quality	Basin H		Basin K		Basin L		Basin M		Basin N	
	Ex	Pr	Ex	Pr	Ex	Pr	Ex	Pr	Ex	Pr
Control Elevation (ft)	5.8	5.8	6.8	6.8	6.0	6	3.5	3.5	6.0	6.0
5 Year 1 Day Storm										
Rainfall (in)	5.1	5.1	5.1	5.1	5.1	5.1	5.1	5.1	5.1	5.1
Peak Stage (ft)	7.3	7.3	8.0	8.0	6.8	6.8	5.3	5.3	6.8	6.8
Min Rd/Parking Crown Elev.(ft)	7.8	7.8	-	-	8.0	8.0	5.5	5.5	-	-
25 Year 3 Day Storm										
Rainfall (in)	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0
Design Discharge (cfs)	7.7	7.6	-	-	-	-	-	-	-	-
Peak Stage (ft)	9.0	8.7	8.8	8.8	-	-	6.5	6.5	7.3	7.3
Minimum Berm Elevation (ft)	9.0	9.0	9.5	9.5	-	-	6.5	6.5	-	-
100 Year 3 Day Storm										
Rainfall (in)	12.6	12.6	12.6	12.6	12.6	12.6	12.6	12.6	12.6	12.6
FEMA Elevation (ft)	9.0	9.0	-	-	-	-	9.4-9.9	9.4-9.9	-	-
Peak Stage(ft)	9.5	9.5	9.2	9.2	8.1	8.1	7.0	7.0	8.1	8.1
Min Building Finished Floor (ft)	9.6	9.6	-	-	-	-	9.4-9.9	9.4-9.9	-	-

Design Summary

Water Quality	Basin O		Basin P		Basin Q		Basin R		Basin S	
	Ex	Pr	Ex	Pr	Ex	Pr	Ex	Pr	Ex	Pr
Control Elevation (ft)	6.5	6.5	5.0	5.0	7.4	7.4	9.3	9.3	8.0	8.0
5 Year 1 Day Storm										
Rainfall (in)	5.1	5.1	5.1	5.1	5.1	5.1	5.1	5.1	5.1	5.1
Peak Stage (ft)	7.9	7.9	6.6	6.6	8.6	8.3	10.3	10.1	9.5	9.4
Min Rd/Parking Crown Elev.(ft)	8.5	8.5	7.0	7.0	9.4	9.4	11.3	11.3	10.0	10.0
25 Year 3 Day Storm										
Rainfall (in)	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0
Design Discharge (cfs)	13.5	13.3	36.3	36.1	3.1	3.0	-	-	-	-
Peak Stage (ft)	8.8	8.8	7.9	7.9	9.3	9.2	11.2	11.0	10.7	10.4
Minimum Berm Elevation (ft)	9.1	9.1	8.2	8.2	9.6	9.6	11.5	11.5	11.0	11.0
100 Year 3 Day Storm										
Rainfall (in)	12.6	12.6	12.6	12.6	12.6	12.6	12.6	12.6	12.6	12.6
FEMA Elevation (ft)	9.7-10.2	9.7-10.2	9.4-10.6	9.4-10.6	9.0-10.2	9.0-10.2	11.4	10-10.5	10-10.5	10-10.5
Peak Stage(ft)	9.4	9.4	8.5	8.5	9.7	9.6	11.7	11.4	11.1	10.9
Min Building Finished Floor (ft)	10.2	10.2	9.4-10.6	9.4-10.6	10.2	10.2	12.2	12.2	11.6	11.6

Water Quality	Basin T		Basin U		Basin W		Basin X		Basin Y	
	Ex	Pr	Ex	Pr	Ex	Pr	Ex	Pr	Ex	Pr
Control Elevation (ft)	6.8	6.8	10.5	10.5	8.5	8.5	8.0	8.0	8.0	8.0
5 Year 1 Day Storm										
Rainfall (in)	5.1	5.1	5.1	5.1	5.1	5.1	5.1	5.1	5.1	5.1
Peak Stage (ft)	8.3	8.4	11.5	11.5	10.7	10.0	9.3	9.3	9.7	9.6
Min Rd/Parking Crown Elev.(ft)	8.8	8.8	12.5	12.5	11.2	11.2	10.0	10.0	10.0	10.0
25 Year 3 Day Storm										
Rainfall (in)	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0	10.0
Design Discharge (cfs)	-	-	-	-	-	-	-	-	0.3	0.4
Peak Stage (ft)	9.8	9.7	12.5	12.4	12.0	11.2	10.4	10.5	11.1	11.0
Minimum Berm Elevation (ft)	10.1	10.1	12.8	12.8	12.3	12.3	10.7	10.7	11.4	11.4
100 Year 3 Day Storm										
Rainfall (in)	12.6	12.6	12.6	12.6	12.6	12.6	12.6	12.6	12.6	12.6
FEMA Elevation (ft)	10.4-10.8	10.4-10.8	10.2	10.2	11.0	11.0	11.3	11.3	11.4	11.4
Peak Stage(ft)	10.4	10.3	13.1	13.0	12.4	11.8	11.1	11.2	11.7	11.7
Min Building Finished Floor (ft)	10.9	10.9	13.6	13.6	12.9	12.9	11.6	11.6	12.2	12.2

Design Summary

Water Quality	Basin Z		Basin AA		Basin BB	
	Ex	Pr	Ex	Pr	Ex	Pr
Control Elevation (ft)	11.5	11.5	10.3	10.3	9.5	9.5
Water Quality Volume (ac-ft)	8.5	8.5	4.0	4.0	6.2	6.2
Water Quality Elevation (ft)	12.1	12.1	11.1	11.1	9.8	9.8
5 Year 1 Day Storm						
Rainfall (in)	5.1	5.1	5.1	5.1	5.1	5.1
Peak Stage (ft)	12.3	12.3	11.3	11.2	10.8	10.7
Min Rd/Parking Crown Elev.(ft)	13.5	13.5	12.3	12.3	11.5	11.5
25 Year 3 Day Storm						
Rainfall (in)	10.0	10.0	10.0	10.0	10.0	10.0
Allowable Discharge [*] (cfs)	8.7	8.7	4.1	4.1	6.4	6.4
Design Discharge (cfs)	-	-	-	-	-	-
Peak Stage (ft)	13.2	13.1	12.0	12.0	12.1	11.9
Minimum Berm Elevation (ft)	13.5	13.5	12.3	12.3	12.4	12.4
100 Year 3 Day Storm						
Rainfall (in)	12.6	12.6	12.6	12.6	12.6	12.6
FEMA Elevation (ft)	-	-	-	-	10.4	10.4
Peak Stage(ft)	13.6	13.5	12.4	12.3	12.7	12.5
Min Building Finished Floor (ft)	14.1	14.1	12.9	12.9	13.2	13.2



PHASE 2

LEGEND

- PRESERVE AREA ADDED
- PREVIOUSLY PERMITTED PRESERVE AREA SUBTRACTED
- SPWMD WETLAND PRESERVE (65.47 AC ±)
- WETLAND RESTORATION (9.23 AC ±)
- SPWMD "WATERS" (6.39 AC ±)
- UPLAND BUFFER (15.98 AC ±)
- UPLAND PRESERVE (32.59 AC ±)
- OPEN SPACE-NOT USED FOR MITIGATION
- PROPOSED LAKE
- SURVEYED WETLAND LINE
- PHASE LINE

NOTES

SITE PLAN SHOWN PER JOHNSON ENGINEERING, INC. DRAWING NO. E02-FLUP04TES08-004 DWS DATED 8-4-04.

SURVEYED WETLAND LINES PER JOHNSON ENGINEERING DRAWING NO. WETLANDS-08-000 DWS DATED 8-10-06.

FLUX/FCS LINES ESTIMATED FROM AERIAL PHOTOGRAPH DATED MAY 2000.

SPWMD JURISDICTIONAL WETLANDS AND "OTHER SURFACE WATERS" FIELD REVIEWED AND APPROVED BY CRAIG SCHMITTLER ON APRIL 12, 2009.

DESIGNED BY A.W.	DATE 9/28/04	HORIZONTAL SCALE N.T.S.
CHECKED BY K.C.P.	DATE 9/28/04	VERTICAL SCALE N/A
DRAWN BY W.C.	DATE 9/28/04	SHEET NO. 28,30,31,32,33,34,35,36

PASSARELLA and ASSOCIATES, INC.
Consulting Ecologists
 9110 College Pointe Court, Ft. Myers, FL 33919

THE VERANDAH-PHASE 2
 UPLAND/WETLAND PRESERVE MAP WITH PREVIOUSLY
 PERMITTED PRESERVE AREAS

DRAWING No.: 998BP402
SHEET No.: 1A

STAFF REPORT DISTRIBUTION LIST

VERANDAH BASIN Q AND R MODIFICATION

Application No: 121207-9

Permit No: 36-04314-P

INTERNAL DISTRIBUTION

- X Errol Noel
- X Justin M.Hojnacki
- X Laura Layman
- X Daniel F. Waters, P.E.
- X ERC Engineering
- X ERC Environmental
- X Fort Myers Backup File

EXTERNAL DISTRIBUTION

- X Permittee - K H Verandah L L C
- X Engr Consultant - Johnson Engineering Inc

GOVERNMENT AGENCIES

- X Div of Recreation and Park - District 4 - FDEP
- X Lee County Engineer

OTHER INTERESTED PARTIES

- X Audubon of Florida - Charles Lee

STAFF REPORT DISTRIBUTION LIST

ADDRESSES

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atilton@johnsoneng.com

Div of Recreation and Park - District 4 - FDEP
1843 South Tamiami Trail
Osprey FL 34229
chris.becker@dep.state.fl.us

Lee County Engineer
P.O.Box 398
Fort Myers FL 33902-0398
eckenrpj@leegov.com

Audubon of Florida - Charles Lee
1101 Audubon Way
Maitland FL 32751
chlee2@earthlink.net

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT**

**UNAUDITED
FINANCIAL
STATEMENTS**

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT
FINANCIAL STATEMENTS
UNAUDITED
NOVEMBER 30, 2024**

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT
BALANCE SHEET
GOVERNMENTAL FUNDS
NOVEMBER 30, 2024**

	Major Funds		Total Governmental Funds
	General	Debt Service Series 2016	
<u>ASSETS</u>			
Cash (SunTrust)	\$ 411,350	\$ -	\$ 411,350
Investments			
Revenue account	-	267,452	267,452
Reserve account	-	375,001	375,001
Prepayment account	-	19	19
Principal account	-	318	318
Redemption	-	2	2
Due from other governments	4,296	-	4,296
Due from general fund	-	310,619	310,619
Deposits	45	-	45
Total assets	<u>\$ 415,691</u>	<u>\$ 953,411</u>	<u>\$ 1,369,102</u>
LIABILITIES AND FUND BALANCES			
Liabilities:			
Accounts payable	\$ 23,396	\$ -	\$ 23,396
Due to debt service fund	310,619	-	310,619
Due to Verandah West	40,052	-	40,052
Total liabilities	<u>374,067</u>	<u>-</u>	<u>374,067</u>
Fund balances:			
Restricted for:			
Debt service	-	953,411	953,411
Unassigned	41,624	-	41,624
Total fund balances	<u>41,624</u>	<u>953,411</u>	<u>995,035</u>
 Total liabilities and fund balances	 <u>\$ 415,691</u>	 <u>\$ 953,411</u>	 <u>\$ 1,369,102</u>

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT
STATEMENT OF REVENUES, EXPENDITURES,
AND CHANGES IN FUND BALANCES
GENERAL FUND 001
FOR THE PERIOD ENDED NOVEMBER 30, 2024**

	Current Month	Year to Date	Budget	% of Budget
REVENUE				
Special assessment: on-roll	\$ 52,798	\$ 52,798	\$ 239,286	22%
Interest & miscellaneous	-	-	263	0%
Total revenue	<u>52,798</u>	<u>52,798</u>	<u>239,549</u>	22%
EXPENDITURE				
Professional and administrative				
Supervisors	-	-	3,158	0%
Management and accounting	4,567	9,134	54,805	17%
Audit	-	-	6,535	0%
Legal	136	136	4,386	3%
Field management	774	1,547	9,282	17%
Engineering	1,640	1,640	4,386	37%
Trustee	2,365	2,365	4,386	54%
Dissemination agent	303	605	3,631	17%
Arbitrage	-	-	1,316	0%
Assessment roll preparation	877	1,754	10,526	17%
Telephone	28	57	340	17%
Postage	10	30	219	14%
Insurance	-	6,888	7,262	95%
Printing & binding	59	118	708	17%
Legal advertising	25	25	658	4%
Office expenses and supplies	-	-	110	0%
Website	-	310	618	50%
Contingencies	71	148	658	22%
ADA website compliance	-	-	175	0%
Annual district filing fee	-	154	154	100%
Total professional & admin expenses	<u>10,855</u>	<u>24,911</u>	<u>113,313</u>	22%
Water management				
Contractual services	8,966	8,966	53,945	17%
Aquascaping - pipe cleanout	38,500	38,500	42,235	91%
Perimeter fence - wall ongoing RM not shared	150	150	1,800	8%
Utilities	35	70	570	12%
Contingencies	-	-	2,193	0%
Total water management	<u>47,651</u>	<u>47,686</u>	<u>100,743</u>	47%

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT
STATEMENT OF REVENUES, EXPENDITURES,
AND CHANGES IN FUND BALANCES
GENERAL FUND 001
FOR THE PERIOD ENDED NOVEMBER 30, 2024**

	Current Month	Year to Date	Budget	% of Budget
Other fees and charges				
Property appraiser	718	718	804	89%
Tax collector	1,384	1,384	1,479	94%
Total other fees & charges	2,102	2,102	2,283	92%
Total expenditures	60,608	74,699	216,339	35%
 Excess/(deficiency) of revenues over/(under) expenditures	 (7,810)	 (21,901)	 23,210	
 Fund balances - beginning	 49,434	 63,525	 62,304	
Fund balances - ending	<u>\$ 41,624</u>	<u>\$ 41,624</u>	<u>\$ 85,514</u>	

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT
STATEMENT OF REVENUES, EXPENDITURES,
AND CHANGES IN FUND BALANCES
DEBT SERVICE FUND 202 - SERIES 2016
FOR THE PERIOD ENDED NOVEMBER 30, 2024**

	Current Month	Year to Date	Budget	% of Budget
REVENUES				
Special assessment: on-roll	\$ 310,619	\$ 310,619	\$ 1,445,557	21%
Interest	3,544	7,159	-	N/A
Total revenues	<u>314,163</u>	<u>317,778</u>	<u>1,445,557</u>	22%
EXPENDITURES				
Debt service				
Principal	-	-	875,000	0%
Interest	296,384	296,384	592,769	50%
Total expenditures	<u>296,384</u>	<u>296,384</u>	<u>1,467,769</u>	20%
Excess/(deficiency) of revenues over/(under) expenditures	17,779	21,394	(22,212)	
Fund balances - beginning	935,632	932,017	887,578	
Fund balances - ending	<u>\$ 953,411</u>	<u>\$ 953,411</u>	<u>\$ 865,366</u>	

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT**

MINUTES

DRAFT

**MINUTES OF MEETING
VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT**

The Board of Supervisors of the Verandah East Community Development District held Public Hearings and a Regular Meeting on August 14, 2024 at 1:00 p.m., at 11390 Palm Beach Blvd., First Floor, Fort Myers, Florida 33905.

Present were:

David Moore	Chair
Richard (Denny) Shields, Jr.	Vice Chair
Christine Jaross	Assistant Secretary
John Sample	Assistant Secretary
Jacqueline Voiles	Assistant Secretary

Also present:

Cleo Adams	District Manager
Shane Willis	Operations Manager
Alyssa Willson (via telephone)	District Counsel
Mark Zordan (via telephone)	District Engineer
Ben Steets (via telephone)	Grau & Associates
Ian Shaffer	Resident/VCA Board President
Dennis Gayle	Resident
Dale Steiner	Resident
Adam Scale	Resident
Mike Lipinski	Resident

FIRST ORDER OF BUSINESS

Call to Order/Roll Call

Mrs. Adams called the meeting to order at 1:00 p.m. All Supervisors were present.

SECOND ORDER OF BUSINESS

Public Comments (3 minutes per person)

Resident and VCA Board President Ian Shaffer stated that the Verandah Community Association (VCA) does not own any bridges, boardwalks or sidewalks on CDD property and there are no agreements in place, wherein the VCA would be maintaining any of that property.

He noted that there is one maintenance agreement in place, which is to take care of the perimeter fencing.

Resident Dennis Gayle voiced concern about concrete trucks dumping construction waste and other debris in the preserves, near his home, and that Brazilian pepper, an invasive species, started growing there. Mrs. Adams stated the conservation area is maintained twice per year, as required by the South Florida Water Management District. (SFWMD). Staff will follow up on the construction debris.

Resident Dale Steiner asked about the current bond expiration date, the assessment increase, the public notice and Florida Statute. Mr. Moore stated, under the Florida Law that created CDDs, special assessments can be levied and the required public notice was mailed to announce the assessment increase. The special assessments facilitate bond payments and the operations and maintenance (O&M) on an ongoing basis. Mrs. Adams stated the bond will eventually be paid off in full but homeowners can pay off their share of the bond assessment anytime they want.

THIRD ORDER OF BUSINESS

Presentation of Audited Financial Report for the Fiscal Year Ended September 30, 2023, Prepared by Grau & Associates

Mr. Steets presented the Audited Financial Report for the Fiscal Year Ended September 30, 2023. There were no findings, recommendations, deficiencies on internal control or instances of non-compliance; it was a clean audit.

Mr. Steets highlighted the pertinent information in the Audit, including the Independent Auditor's Report, Management Discussion and Analysis, Financial Statements, Notes to the Financial Statements, Schedule of Revenues, data elements required by Florida Statutes and the Management Letter.

Mr. Sample asked if it is possible, going forward, to receive the audit sooner. Mrs. Adams stated that can be accomplished; she will advise Grau & Associates to ensure it is received earlier than the August Board meeting next year.

FOURTH ORDER OF BUSINESS

Consideration of Resolution 2024-05, Hereby Accepting the Audited Financial

Report for the Fiscal Year Ended
September 30, 2023

Mrs. Adams presented Resolution 2024-05.

On MOTION by Mr. Moore and seconded by Mr. Sample, with all in favor,
Resolution 2024-05, Hereby Accepting the Audited Financial Report for the
Fiscal Year Ended September 30, 2023, was approved.

FIFTH ORDER OF BUSINESS

**Presentation: Johnson Engineering, Inc.,
History of Rate Increases**

Mrs. Adams presented the Johnson Engineering, Inc., (JEI) History of Rate Increases that was requested at the last meeting. Mr. Moore stated the current rate increase probably brings JEI up to the going rate, after many years of no rate increases. He does not expect to see this continuing, especially as the inflation rate is dropping.

SIXTH ORDER OF BUSINESS

**Public Hearing on Adoption of Fiscal Year
2024/2025 Budget**

A. Proof/Affidavit of Publication

The affidavit of publication was included for informational purposes.

B. Consideration of Resolution 2024-06, Relating to the Annual Appropriations and Adopting the Budget(s) for the Fiscal Year Beginning October 1, 2024, and Ending September 30, 2025; Authorizing Budget Amendments; and Providing an Effective Date

Mrs. Adams presented Resolution 2024-04.

A Board Member suggested adding a footnote to the Fiscal Year 2025 budget explaining the meaning of shared expenses and unshared costs, to help homeowners better understand.

Mrs. Adams reviewed the proposed Fiscal Year 2025 budget and responded to questions regarding the insurance payment.

Mr. Sample commented that, as the community draws closer to completion, the infrastructure is aging; he thinks the condition of the storm drains and roads needs to be addressed. Mrs. Adams stated the CDD is responsible for all the interconnecting pipes and has

107 yet to establish a maintenance schedule for them because, thus far, the Board's goal was to not
108 increase assessments. The Board realizes that the pipes must be maintained and the question is
109 whether to maintain them on an annual basis or not.

110 Discussion ensued regarding lake maintenance, the easement, shared expenses with
111 Verandah West CDD (VWCDD) and maintenance fees.

112
113 **On MOTION by Mr. Moore and seconded by Mr. Sample, with all in favor, the**
114 **Public Hearing was opened.**

115
116
117 A resident asked about the dividing line between the Verandah East CDD (VECDD) and
118 VWCDD. Mr. Willis referenced the GIS map and pointed to the dividing line.

119 Asked for an example of shared versus unshared expenses between the VECDD and the
120 VWCDD, Mrs. Adams stated the only items not shared with the VWCDD are the ongoing
121 maintenance for the perimeter fence wall, as well as lake bank restoration.

122 Resident Mike Lipinski reported that some people are littering the road side storm
123 drains and asked if the CDD is responsible for that maintenance. Mrs. Adams stated the VCA is
124 responsible.

125 Resident Adam Scale asked if a reserve study was done to determine the life span of the
126 pipes. Mrs. Adams stated a reserve study has not been done; however, the pipes are certified
127 for at least 100 years.

128 Regarding the reserves, Mr. Moore stated the CDD is a governmental authority, so it
129 only keeps a small unassigned fund balance for emergencies but the CDD has avenues to
130 acquire funds quickly, unlike the HOA.

131
132 **On MOTION by Mr. Sample and seconded by Mr. Moore, with all in favor, the**
133 **Public Hearing was closed.**

134
135 **On MOTION by Mr. Moore and seconded by Ms. Voiles, with all in favor,**
136 **Resolution 2024-06, Relating to the Annual Appropriations and Adopting the**
137 **Budget(s) for the Fiscal Year Beginning October 1, 2024, and Ending September**
138 **30, 2025; Authorizing Budget Amendments; and Providing an Effective Date,**
139 **was adopted.**

SEVENTH ORDER OF BUSINESS

Public Hearing to Hear Comments and Objections on the Imposition of Maintenance and Operation Assessments to Fund the Budget for Fiscal Year 2024/2025, Pursuant to Florida Law

A. Proof/Affidavit of Publication**B. Mailed Notice(s) to Property Owners**

These items were included for informational purposes.

C. Consideration of Resolution 2024-07, Providing for Funding for the FY 2025 Adopted Budget(s); Providing for the Collection and Enforcement of Special Assessments, Including but Not Limited to Penalties and Interest Thereon; Certifying an Assessment Roll; Providing for Amendments to the Assessment Roll; Providing a Severability Clause; and Providing an Effective Date

Mrs. Adams presented Resolution 2024-07 and read the title.

On MOTION by Mr. Moore and seconded by Ms. Jaross, with all in favor, the Public Hearing was opened.

No affected property owners or members of the public spoke.

On MOTION by Mr. Sample and seconded by Ms. Voiles, with all in favor, the Public Hearing was closed.

On MOTION by Mr. Sample and seconded by Ms. Voiles, with all in favor, Resolution 2024-07, Providing for Funding for the FY 2025 Adopted Budget(s); Providing for the Collection and Enforcement of Special Assessments, Including but Not Limited to Penalties and Interest Thereon; Certifying an Assessment Roll; Providing for Amendments to the Assessment Roll; Providing a Severability Clause; and Providing an Effective Date, was adopted.

EIGHTH ORDER OF BUSINESS

Consideration of Goals and Objectives Reporting [HB7013 - Special Districts

Performance Measures and Standards Reporting]

Mrs. Adams presented the Memorandum explaining the requirement for the CDD to develop goals and objectives. She presented the Performance Measures/Standards & Annual Reporting Form developed for the CDD, which explains how the CDD will meet the goals.

On MOTION by Mr. Sample and seconded by Mr. Shields, with all in favor, the Goals and Objectives and the Performance Measures/Standards & Annual Reporting Form, were approved.

NINTH ORDER OF BUSINESS

Discussion: Maintenance of VCA Owned Paths, Boardwalks and Bridges

Mrs. Adams stated the title should not state "VCA Owned" because Mr. Shaffer previously confirmed that the VCA does not own these items.

Referencing a handout, Mr. Moore stated the VCA assumed ownership and management of the HOA and the VCA is in the process of closing that business cycle with the Developer. They requested documents regarding known maintenance agreements and the Board directed Management to search its records for the documents and submit them to the HOA.

Discussion ensued regarding land ownership, researching the files for the maintenance agreements, reviewing past meeting minutes and deeds, charging the HOA for the public record request research, non-maintenance items and the Developer.

Mrs. Adams will confer with District Management's office about how much it would charge to review past meeting minutes and report her findings at the next meeting.

TENTH ORDER OF BUSINESS

Acceptance of Unaudited Financial Statements as of June 30, 2024

The financials were accepted.

ELEVENTH ORDER OF BUSINESS

Approval of May 8, 2024 Regular Meeting Minutes

Mrs. Adams presented the May 8, 2024 Regular Meeting Minutes.

On MOTION by Mr. Sample and seconded by Mr. Moore, with all in favor, the May 8, 2024 Regular Meeting Minutes, as presented, were approved.

TWELFTH ORDER OF BUSINESS

Staff Reports

A. District Counsel: Kutak Rock LLP

Regarding the ethics training requirement, Ms. Willson stated any Supervisor that was in office prior to March 15, 2024 must complete the ethics training requirement by December 31, 2024.

B. District Engineer: Johnson Engineering, Inc.

C. District Manager: Wrathell, Hunt & Associates, LLC

- **District Manager's Report**

There were no District Engineer or District Manager reports.

- **NEXT MEETING DATE: October 9, 2024 at 1:00 PM**

- **QUORUM CHECK**

All Supervisors confirmed their attendance at the October 9, 2024 meeting.

THIRTEENTH ORDER OF BUSINESS

Supervisors' Requests

A Board Member voiced concern about the growth of littoral plants in the lakes, which seem to be denser than ever before. He asked for feedback on the littorals at the next meeting.

FOURTEENTH ORDER OF BUSINESS

Adjournment

On MOTION by Ms. Voiles and seconded by Mr. Sample, with all in favor, the meeting adjourned at 2:00 p.m.

[SIGNATURES APPEAR ON THE FOLLOWING PAGE]

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Secretary/Assistant Secretary

Chair/Vice Chair

**VERANDAH EAST
COMMUNITY DEVELOPMENT DISTRICT**

STAFF REPORTS



FIELD REPORT - Lake Bank Concerns

Complete

District	
Site conducted	2901–2987 Amblerwind Dr Fort Myers FL 33905 United States (26.705028927817658, - 81.7314835857509)
Conducted on	December 6, 2024
Prepared by	Shane Willis

FINDINGS

REASON FOR VISIT:

Resident called in about the appearance of the stormwater lake behind his home.

DESCRIPTION OF FINDINGS:

The littorals around this lake look terrible. Some remediation needs to occur here. After discussing with the District Manager, Staff will source some proposals to address.

A lake dye could be applied to address the appearance of the water column.

IS THERE A POSSIBLE SFWMD PERMIT ISSUE?

No

Media summary



Photo 1



Photo 2



Photo 3



Photo 5



Photo 6



Photo 7

VERANDAH EAST COMMUNITY DEVELOPMENT DISTRICT		
BOARD OF SUPERVISORS FISCAL YEAR 2024/2025 MEETING SCHEDULE		
LOCATION		
<i>11390 Palm Beach Blvd., First Floor, Fort Myers, Florida 33905</i>		
DATE	POTENTIAL DISCUSSION/FOCUS	TIME
October 9, 2024 CANCELED <i>Inclement Weather</i>	Regular Meeting	1:00 PM
January 8, 2025	Regular Meeting	1:00 PM
May 14, 2025	Regular Meeting <i>Presentation of FY2026 Proposed Budget</i>	1:00 PM
August 13, 2025	Public Hearing & Regular Meeting <i>Adoption of FY2026 Proposed Budget</i>	1:00 PM